

APPENDIX E20

**FEIAR NOTIFICATION AND PROOF OF AVAILABILITY
OF ADDITIONAL INFORMATION, PROPOSED
MITIGATION MEASURES AND TRANSCRIPTIONS
OF PUBLIC PARTICIPATION MEETINGS AS
REQUESTED BY I&APS**

**DEPARTMENTAL REFERENCE NO: FS 30/5/1/2/2/10048 MR AND
FS 30/5/1/2/3/2/1/10048 EM**



APPLICANT:

Monte Cristo Commercial Park (Pty) Ltd
P.O. Box 17037
Sunward Park
1470
Tel: 011 913 1719
Email: info@vldc.co.za

FINAL ENVIRONMENTAL IMPACT ASSESSMENT REPORT

26 April 2021

Dear Sir/Madam,

RE: FINAL ENVIRONMENTAL IMPACT ASSESSMENT REPORT (FEIAR) FOR AN APPLICATION OF A MINING RIGHT IN TERMS OF SECTION 22 OF THE MINERALS AND PETROLEUM RESOURCES DEVELOPMENT ACT, 2002 (ACT NO 28 OF 2002), AND ENVIRONMENTAL AUTHORISATION IN TERMS OF THE NATIONAL ENVIRONMENTAL MANAGEMENT ACT, 107 OF 1998 (“NEMA”), READ TOGETHER WITH THE EIA REGULATIONS, 2014 (AS AMENDED BY GNR 326 EFFECTIVE 7 APRIL 2017) PROMULGATED IN ACCORDANCE WITH NEMA, APPLIED FOR BY MONTE CRISTO COMMERCIAL PARK (PTY) LTD - REFERENCE NUMBER: FS 30/5/1/2/2/10048 MR AND FS 30/5/1/2/3/2/1/10048 EM

The Final Environmental Impact Assessment Report (FEIAR) and Environmental Management Programme Report (EMPR) for the proposed mining for sand, aggregate/gravel and diamonds (alluvial) on the Remaining Extent, Remainder of Portion 1 and Portion 3 Of The Farm Woodlands 407, Parys Municipal District, Free State Province is now available for your perusal.

In accordance with the prescribed timeframes set out in the National Environmental Management Act, 107 of 1998 (“**NEMA**”), read together with the EIA Regulations, 2014 (as amended by GNR 326 effective 7 April 2017) promulgated in accordance with NEMA, the Draft Environmental Impact Assessment Report was subject to a 30-day commenting period, ending 22 April 2021 in which I&APs were provided with an opportunity to peruse and submit comments on the DEIAR.

Public Participation Process during the Draft Environmental Impact Assessment Report (DEIAR) Phase

I&AP's were notified of the Draft Environmental Impact Assessment Report via email, newspaper advertisement, and Site notices. The newspaper advertisement (in English, Afrikaans and Sesotho)

the goal isn't to live forever, it is to protect a planet that will



describing the proposed project was placed in The Star newspaper, which is a national newspaper with adequate circulation in the area, on the 19th March 2021.

A copy of the Draft Environmental Impact Assessment Report (“**DEIAR**”) has at all times during the Public Participation Process been capable of being downloaded from the consultants’ website.

In addition to the above, hard copies of the DEIAR were made available for inspection and comment by the Public for a period of 30 days, being 19 March 2021 to 22 April 2021.

Furthermore, twenty (20) A2 site notices (in English, Afrikaans and Sesotho) have been placed within and around the perimeter of the proposed project area since 19th of March 2021.

Public Participation Meetings

In order to facilitate and allow I&APs an opportunity to participate in the process, numerous Public Participation Meetings were held in which the DEIAR was presented by the relevant Expert Specialist Consultants, and the I&APs were entitled to engage with and question such Consultants. The details of the Public Participation Meetings are as set out hereunder:

- **10 April 2021** at 07h00 (held Virtually), the duration of which was 2 hours 32 minutes;
- **17 April 2021** at 07h00 (held Physically with in-person attendance as well as Virtually), which meeting was cancelled;
- **17 April 2021** at 13h00 (held Physically with in-person attendance as well as Virtually), the duration of which was 4 hours;
- **21 April 2021** at 17h00 (held Virtually), the duration of which was 4 hours 25 minutes;
- **24 April 2021** at 09h00 (held Physically);
- **24 April 2021** at 11h00 (held Physically).

All comments received from Interested and Affected Parties (I&APs), as well as our response thereto, has been incorporated into the FEIAR and EMPR. Please note that the FEIAR and EMPR, which reports includes all comments, objections and concerns received from all I&APs, were submitted to the Department of Mineral Resources and Energy (DMRE) on 26 April 2021, for its consideration and

FINAL ENVIRONMENTAL IMPACT ASSESSMENT REPORT



determination. This process is followed by a 107-day decision-making period from date of submission, which enables the DMRE to evaluate and determine this mining right application, after which process the abovementioned application will either be refused or granted.

A copy of the document, including additional information requested by I&APs, proposed mitigation measures, transcriptions of public participation meetings held, as well as Eco-Estate brochure, can be obtained from Greenmined Environmental upon request, or downloaded from the company website at <https://www.greenmined.com/environmental-impact-assessments/> as from 26 April 2021.

Please contact Sonette Smit at 084 585 5706 (Cell) or 021 851 2673 (Tel), 086 546 0579 (Fax), or sonette.s@greenmined.co.za should you require any additional information.

We trust you will find the above in order and we will keep you informed of the progress on this application.

A handwritten signature in black ink, appearing to read 'Smit', is written over a light grey rectangular background.

Kind Regards

Sonette Smit

Greenmined Environmental

sonette.s@greenmined.co.za

APPENDIX E20

**MEETING PRESENTATION FOR MEETINGS HELD
ON**

10 APRIL 2021

17 APRIL 2021

21 APRIL 2021

24 APRIL 2021

Public Participation Meeting



MONTE CRISTO COMMERCIAL PARK (PTY)
LTD REMAINING EXTENT, REMAINDER OF
PORTION 1 AND PORTION 3 OF THE FARM
WOODLANDS 407 PARYS MUNICIPAL
DISTRICT FREE STATE PROVINCE
DRAFT ENVIRONMENTAL IMPACT
ASSESSMENT REPORT & ENVIRONMENTAL
MANAGEMENT PROGRAMME REPORT
DEPARTMENTAL REFERENCE NUMBER:
FS 30/5/1/2/2/10048 MR AND FS
30/5/1/2/3/2/1/10048 EM

Welcome and Introduction – *Presented by Dr De Waal*



Chairperson:

Dr David De Waal - Social Management and Specialist (D.Litt . et Phil).

EAP and Specialists:

Dr. Willie van Niekerk (BSc, Hons B.Sc., M.Sc. and PhD) Infotox

Mr Mader van den Berg (ML (Prof) – Masters in Landscape Architecture) - Environmental Consultant

Mr Russel Tate (M.Sc. in Aquatic Eco-toxicology)– Surface Hydrology Specialist

Mr Nick Grobler – Air Quality Specialist Airshed

Mr Leon Roets (Pr. Eng) - Traffic Engineer Siyazi Transport

Mr Marius Meintjies – Dust Fall Out Measurements Cymbidium

Mrs Sonette Smit – Environmental Assessment Practitioner (Greenmined Environmental)

Mrs Elsaine Costerus – Mohr – Consultant for Greenmined Environmental

Mrs Marlene Lingenfelder – Public Participation Administrator for Greenmined Environmental

Representatives of the Applicant:

Adv. Mark van Wyk (BA LLB H.Dip (Tax) Wits)- Managing Director of applicant Monte Cristo Commercial Park (Pty) Ltd

Mr Michael Cocks (Dip MA, BCom Fin, Adv Dip MA) - Financial Manager for applicant Monte Cristo Commercial Park (Pty) Ltd

Mr Robert Schimpers - Goosebay Farm Manager and Technical Manager for applicant Monte Cristo Commercial Park (Pty) Ltd

Mr Peter Roux (MRR Attorneys) – General Counsel to the applicant Monte Cristo Commercial Park (Pty) Ltd

Welcome and Introduction – *Presented by Dr De Waal*



Agenda

- *Meeting Rules - Presented by Dr de Waal*
- *Purpose of the Meeting - presented by Sonette Smit*
- *Background - presented by Sonette Smit*
- *Enviro-Legal Requirements - presented by Sonette Smit*
- *Public Participation Process - presented by Sonette Smit*
- *Details of the Applicant - presented by Mark van Wyk*
- *Details of the Land Owner - presented by Mark van Wyk*
- *Project Description Locality and Scope of Proposed Activity - presented Sonette Smit / Mader van den Berg*
- *Project Description Mine Plan - presented Mader van den Berg / Micheal Cocks / Robert Schimpers*
- *Rehabilitation Presented by Mr Mader van den Berg Skets Architects & Planning*
- *Proportional Land Use Allocation Presented by Mr Mader van den Berg / Skets Architects & Planning*
- *Farm Access Roads - Presented by Mr Leon Roets (PR Eng) Siyazi Transportation Services*
- *Need and Desirability of the Project - presented by Mark van Wyk*
- *Envisaged End Land Use - Presented by Mark van Wyk*
- *Comments raised during consultation period for DEIAR – Group presentation by a specialist in each field*
- *Way forward - presented by Sonette Smit*

Meeting Rules – *Presented by Dr de Waal*



- Work via the chairperson,
- Everybody gets a fair chance,
- Focus on the subject of the meeting,
- One speaker at a time,
- Mute your microphone when you are not speaking,
- Respect the speaker by listening attentively,
- If you have questions use the chatbox for the chairman to note it,
- Check your internet connection headset and microphone,
- Just speak at normal level,
- Raise hand when you would like to ask a question,
- Be courteous.

Obtain Comments and Concerns on the Draft Environmental Impact Assessment Report

In order to undertake the proposed mining and associated activities, Monte Cristo Commercial Park (Pty) Ltd requires a Mining Right (MR) in terms of Section 22 of the Mineral and Petroleum Resources Development Act, 2002 (Act 28 of 2002, as amended) (MPRDA). In accordance with the National Environmental Management Act, 1998 (Act 107 of 1998) (NEMA) Environmental Impact Assessment (EIA) and Waste Regulations as well as the National Water Act, 1998 (Act 36 of 1998) (NWA), the following environmental permitting and licensing processes are required:

- Undertaking the Public Participation Process,
- Compilation of an Integrated Environmental Authorisation Application,
- Compilation of Scoping and Environmental Impact reports,
- Development of an Environmental Management Programme and an Integrated Water and Waste Management Plan,
- The submission of an Integrated Water Use License Application,

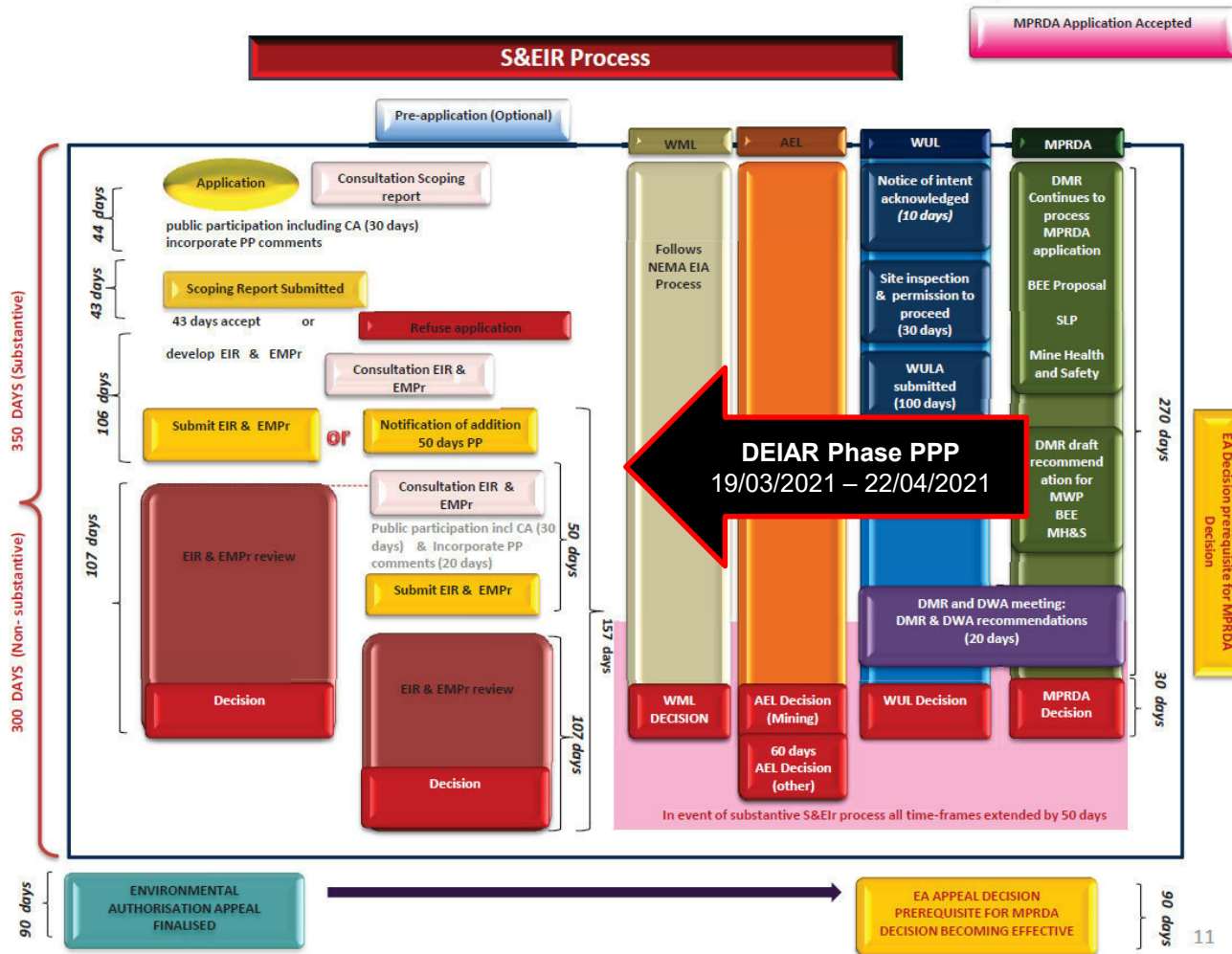
Purpose of the Meeting - *Presented by Sonette Smit*



The VLDC Group previously appointed Shango Solutions as the Environmental Assessment Practitioner (EAP) to manage the required environmental process for the Mining Right Application, this was completed up to the Final Scoping Phase.

The VLDC Group has appointed Greenmined Environmental as the Environmental Assessment Practitioner (EAP) to manage the Mining Right Application **from the Draft Environmental Impact Assessment Report onwards**. All the information in this report was based on the information and documentation that was completed to date as the scoping report with all its contents was approved by the Department of Mineral Resources and Energy (DMRE), Free State.

Purpose of the Meeting - Presented by Sonette Smit



Background - Presented by Sonette Smit



- Goosebay Farm (Pty) Ltd submitted an application for a Mining Right and Environmental Authorisation to the Department of Mineral Resources and Energy (DMRE), Free State Regional Manager in November 2017.
- The abovementioned Application was submitted over the Portions of the Farm Woodlands set out above.
- This application was allocated the Mining Right reference number FS 30/5/1/2/2/10042 MR.
- This initial application was withdrawn by the Applicant.
- A new Mining Right and Environmental Authorisation application under different company, Monte Cristo Commercial Park (Pty) Ltd was submitted on the **24th August 2018** and has been allocated the Mining Right reference number FS 30/5/1/2/2/10048 MR and Environmental Authorisation reference number FS 30/5/1/2/3/2/1/10048 EM.

Background - *Presented by Sonette Smit*



- The final scoping report for this application was submitted on 14 December 2018 and accepted by the Department of Mineral Resources and Energy (DMRE), Free State on the 7th of February 2019.
- Initial extension of time was provided to the applicant for the period from February 2019 to February 2020. Subsequent thereto, COVID-19 was declared a worldwide pandemic, which further delayed the process. Due to the nationwide lockdown, which was a result of the National State of Disaster due to the pandemic, the mining right application process could not proceed during 2020 in terms of prescribed timeframes. Final extension of time was approved by the DMRE until 26 April 2021, upon which date the Final Environmental Impact Assessment Report will be submitted to the DMRE for decision-making.

Environmental Legal Requirements – *Presented by Sonette Smit*



The mining right application was applied for and accepted in terms of the Mineral and Petroleum Resources Development Act, 28 of 2002 (as amended), with regulations thereto.

In terms of the Environmental Impact Assessment Regulations, 2014 (as amended), the applicable listed activities in Listing Notices 1; 2 and 3, as published in Government Notice no. 327; 325 and 324 were identified and assessed as part of the Draft Environmental Impact Assessment Report (DEIAR)

Public Participation Process followed during the current Phase of Mining Right Application Process

- Presented by Sonette Smit



I&AP's were notified via email, newspaper advertisement as well as Site notices. The newspaper advertisement (in English, Afrikaans and Sesotho) describing the proposed project were placed in The Star (which is a national newspaper) with adequate circulation in the area on the 19th March 2021.

Twenty (20) A2 site notices (in English, Afrikaans and Sesotho) were placed on 19th of March 2021 within and around the perimeter of the proposed project area. The advert, on-site notices and notification letter included the following information:

- Project name.
- Applicant name.
- Project location.
- Nature of the activity.
- Details of the MPRDA, NEMA and NWA Regulations that must be adhered.
- Information on document review.
- Information on public meeting
- Relevant contact persons for the project (EAP / Applicant / DMRE).

Public Participation Process followed during the current Phase of Mining Right Application Process

- Presented by Sonette Smit



In accordance with the timeframes stipulated in the EIA Regulations, 2014 (as amended by GNR 326 effective 7 April 2017) read with the relevant guidelines the Draft Environmental Impact Assessment Report (DEIAR) was compiled to allow perusal of the report by the I&AP's and stakeholders. A 30-day commenting period, ending 22 April 2021 will be allowed for perusal of the documentation and submission of comments.

Public Participation Process followed during the current Phase of Mining Right Application Process

- Presented by Sonette Smit



The Public Participation Process (PPP) for the proposed project is being undertaken in accordance with the requirements of the MPRDA, and NEMA in line with the principles of Integrated Environmental Management (IEM). IEM implies an open and transparent participatory process, whereby stakeholders and other Interested and Affected Parties (I&APs) are afforded an opportunity to comment on the project. A joint PPP has been implemented to engage with I&APs and meet the requirements for Public Participation as stipulated by the relevant legislation. The PPP provides stakeholders with information about the proposed project, and several opportunities to comment throughout the EIA/EMPR process. This will ensure public involvement at each key step in the process and allow for comments, concerns, suggestions, and objections to the proposed project to be included in each of the submissions to the relevant Government Authorities.

Public Participation Process followed during the current Phase of Mining Right Application Process

- Presented by Sonette Smit



Upon approval of the Final Scoping Report, the Draft Environmental Impact Assessment Report (DEIAR) and Environmental Management Programme (EMPR) were compiled and circulated for public comment for a 30-day commenting period ending 22nd April 2021. The comments received on the DEIAR & EMPR will be incorporated into the final EIA & EMPR to be submitted for decision making to DMRE.

A copy of the document could be downloaded from the consultants website at www.greenmined.com.

The hard copies of the DEIAR are available for public comment for a period of 30 days, from 19 March 2021 to 22 April 2021 at the following locations:

The Barrage Police Station,

Tel: 016 987 6720, GPS Co-ordinates: -26,7264114,27.5894755

Vaal Eden Mini Market:

Tel: 082 051 2713, GPS Co-ordinates: -26.761128,27.587098

Vaaloewer Entrance Notice Board:

GPS Co-ordinates: -26.726411,27.589476

Ngwathe Municipal Buildings,

Enquiries Counter – Town of Parys: Tel: 056 811 2131

GPS Co-ordinates: -26.9002524,27.4571665

Public Participation Process followed during the current Phase of Mining Right Application Process

- Presented by Sonette Smit



In view of the current National State of Disaster and the Covid-19 pandemic, it was after careful consideration (and consultation with the DMRE) decided, that a PUBLIC PARTICIPATION MEETING was to be held virtually to discuss the contents of the DEIAR on **10 April 2021**.

I&AP's were invited to register for a public meeting as follows:

"By submitting your name, contact details, reason for interest, issues or concerns, via email, or in writing, or by telephone to Greenmined Environmental, above by no later than 31 March 2021;

In the event that any I&AP, would prefer a different meeting format then, the relevant I&AP was requested to advise Greenmined accordingly in order for Greenmined to attempt to do everything necessary, to accommodate any such reasonable request.

I&AP's were however requested, to bear in mind the limitations placed on the Public Participation Process by the COVID regulations (specifically, but not limited to, constraints and issues relating to Public gatherings) and other obvious practical considerations."

Public Participation Process followed during the current Phase of Mining Right Application Process

- Presented by Sonette Smit



Several requests were received for an additional meeting due to the Focus Group for the Sweet Sensation Public Participation Meeting, also scheduled for **Saturday 10 April 2021**.

In order to accommodate those I&AP's who had to attend the Sweet Sensation Public Participation Meeting, an Additional Public Participation Meeting on **Saturday 17 April 2021** has been scheduled. This meeting will take place virtually and physically, in order to accommodate all relevant qualifying I&AP's.

Furthermore, additional Public Participation meetings will be held at the Lindequesdrift and Barrage informal settlements on **Saturday 24 April 2021**. The purpose of these meetings is specifically to accommodate persons resident in these settlements (and the rural surrounding areas) who may not have access to internet or WiFi, and / or who may not be able to obtain transport to the physical meeting to be held on Saturday 17 April 2021. These meetings will be conducted in Sesotho, English and Afrikaans.

COMPANY PROFILE AND BACKGROUND ON VAN WYK LAND DEVELOPMENT CORPORATION (PTY) LTD GROUP OF COMPANIES

1. Mark van Wyk is the Managing Director of inter alia the following companies:
 - 1.1 Van Wyk Land Development Corporation (Pty) Ltd (“VLDC”);
 - 1.2 Goosebay Farm (Pty) Ltd (Formerly Winners Point 117 Trading (Pty) Ltd);
 - 1.3 Pure Source Minerals Mining Co (Pty) Ltd (“Pure Source Minerals”);
 - 1.4 Monte Cristo Commercial Park (Pty) Ltd (“MCCP”) – the applicant in this matter

Details of the Applicant – *Presented by Mark van Wyk*



2. All of the above are companies within the VLDC Group of Companies.
3. Mark van Wyk founded the VLDC Group of Companies in 1999.
4. The VLDC Group has been involved for more than 2 decades, in the Development and Administration of Upmarket Residential Estates, on the East Rand of Gauteng.
5. The Group is also involved in the holding of Commercial Properties, as long term Income Producing Assets, developing Residential Property, as well as Mining, Farming and other Property Development Operations (The abovementioned Business Operations and Property Holdings span several provinces in South Africa);
6. I set out hereunder a brief synopsis of the activities and background of some of the companies in the VLDC Group.

Details of the Applicant – *Presented by Mark van Wyk*



Van Wyk Land Development Corporation (Pty) Ltd (“VLDC”)

7. VLDC has set the benchmark for upmarket Residential Estates, on the Gauteng East Rand.

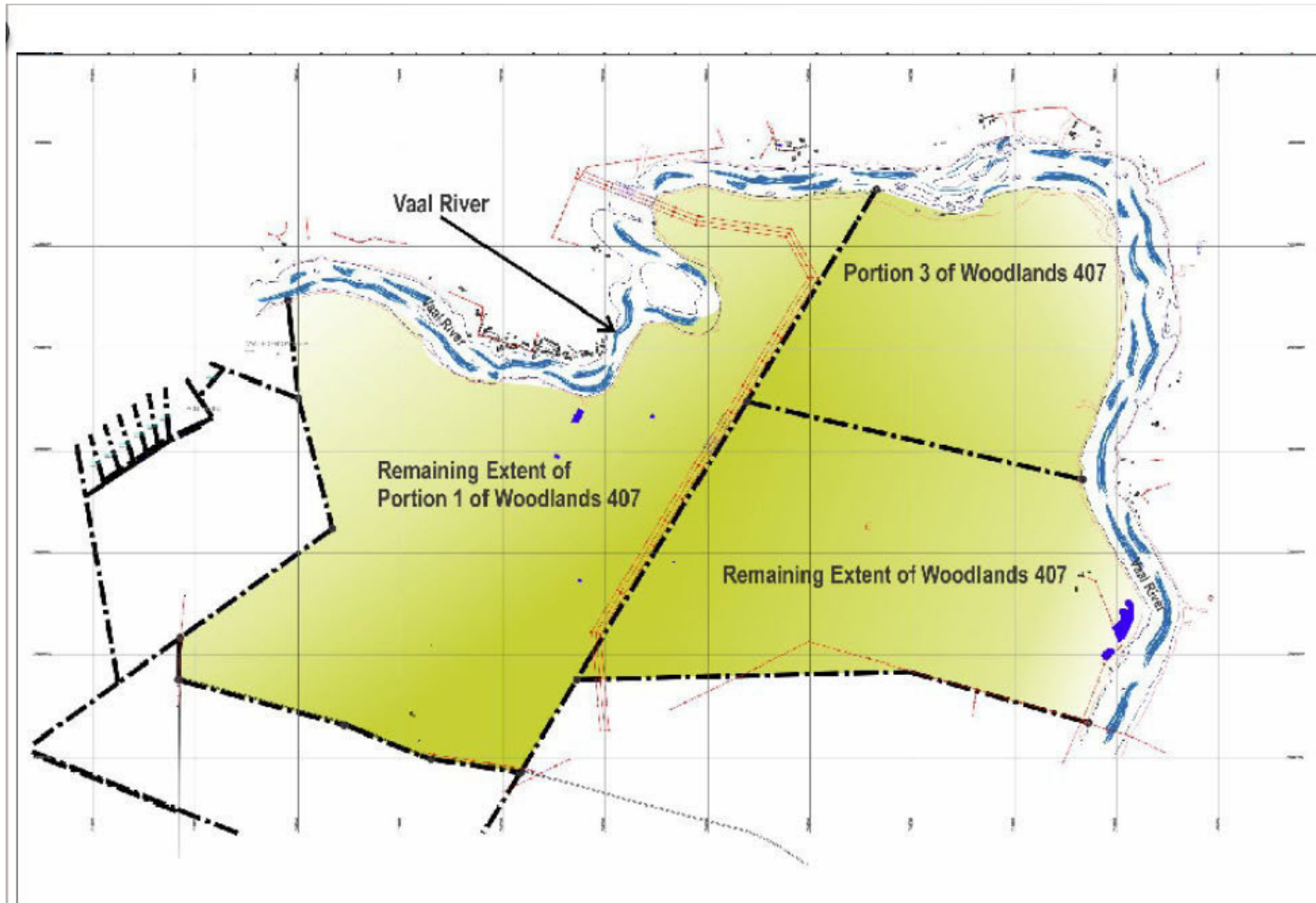
- These Estates have spectacular Gate Houses and Water Features, state of the art Computerized Security Systems, comprehensive and effective Building Control and Development Policies (same entrenched in the Title Deeds of the properties by VLDC), proper Estate Management (via strong Homeowners Associations and well organized and professional Managing Agents), Landscaped Common Areas, Architectural Controls, and very effective Security Personnel.
- These estates definitely live up to VLDC’s motto of “Quality, Aesthetics, Elegance”.

Details of the Land Owner – *Presented by Mark van Wyk*



- Goosebay Farm (Pty) Ltd is, as stated above, the Landowner of the 3 Farm Portions, which comprise Goosebay Farm.
- It should be noted that the Applicant (Monte Cristo Commercial Park (Pty) Ltd), shares common Shareholding and Directorship with the Landowner. Therefore notwithstanding, that the Mining Right Applicant is a different Legal Persona from the Landowner, the said Applicant obviously has a vested interest, to ensure that all mitigation measures and conditions set out in this application, as well as any authorisations that may follow, should be fully adhered to and complied with, in order to minimise any impact on themselves as a related party to the Landowner of this property.
- Both the Landowner and the Applicant (as related parties with common Shareholding and Directorships), will be directly affected by any impacts arising from the proposed Mining Activities. They will first and foremost be affected by any impacts arising from these activities.
- Goosebay Farm (Pty) Ltd conducts the following business operations on Goosebay Farm:
 - Game Farming, Grass-fed free-range Cattle and Livestock Farming, production of free-range organic eggs, vegetable and crop farming, tourism and rental of holiday accommodation.
 - Training of staff in hospitality, construction, farm management and equipment maintenance

Details of the Land Owner – *Presented by Mark van Wyk*



TOTAL SURFACE AREA = 858ha

Details of the Land Owner – *Presented by Mark van Wyk*

Goosebay Farm Wildlife

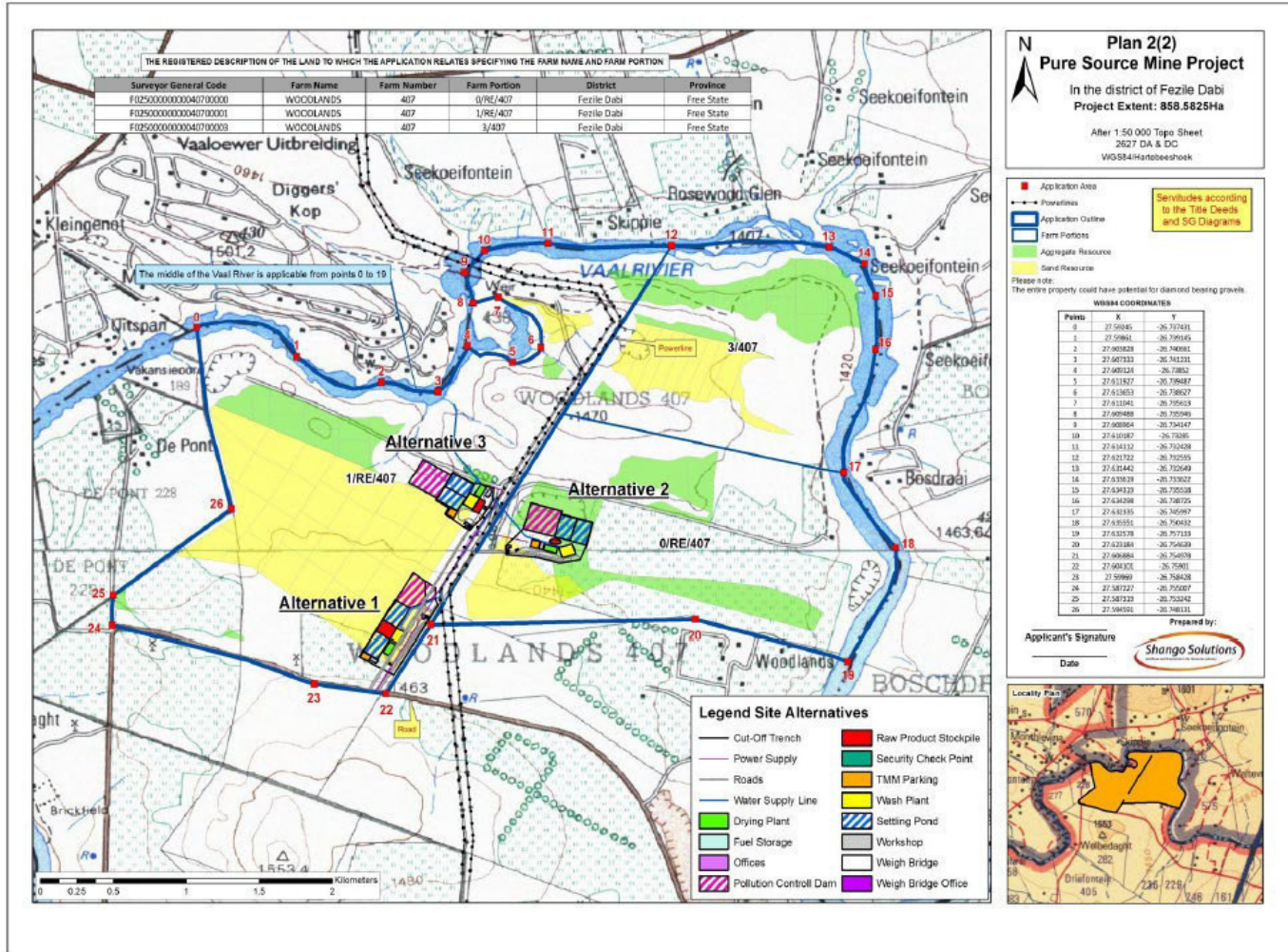


Details of the Land Owner – *Presented by Mark van Wyk*

Goosebay Farm - Farming Activities

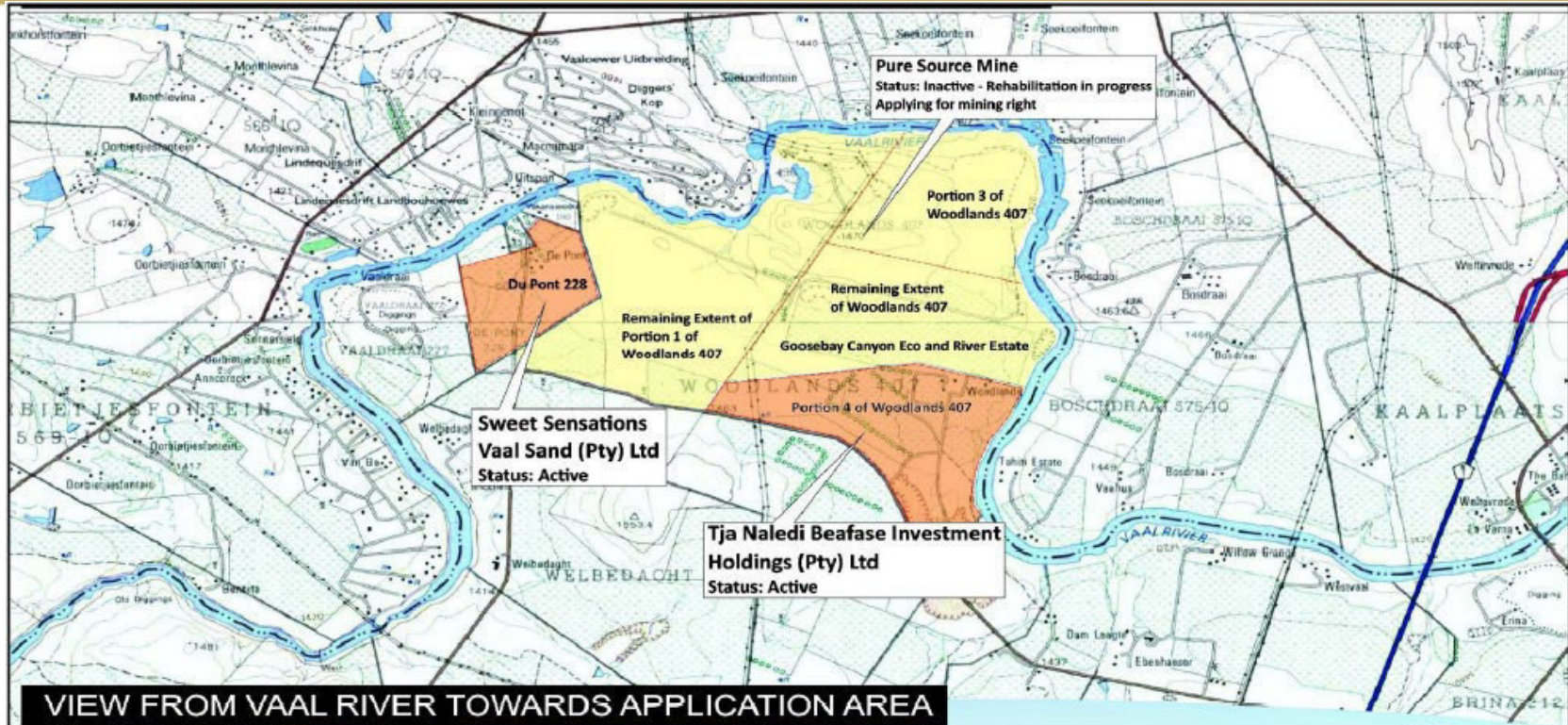


Project Description – Locality Presented by Sonette Smit



Project Description – Locality - Existing mining activities adjacent to the application area

Presented by Sonette Smit



VIEW FROM VAAL RIVER TOWARDS APPLICATION AREA



Project Description - Scope of Proposed Activity

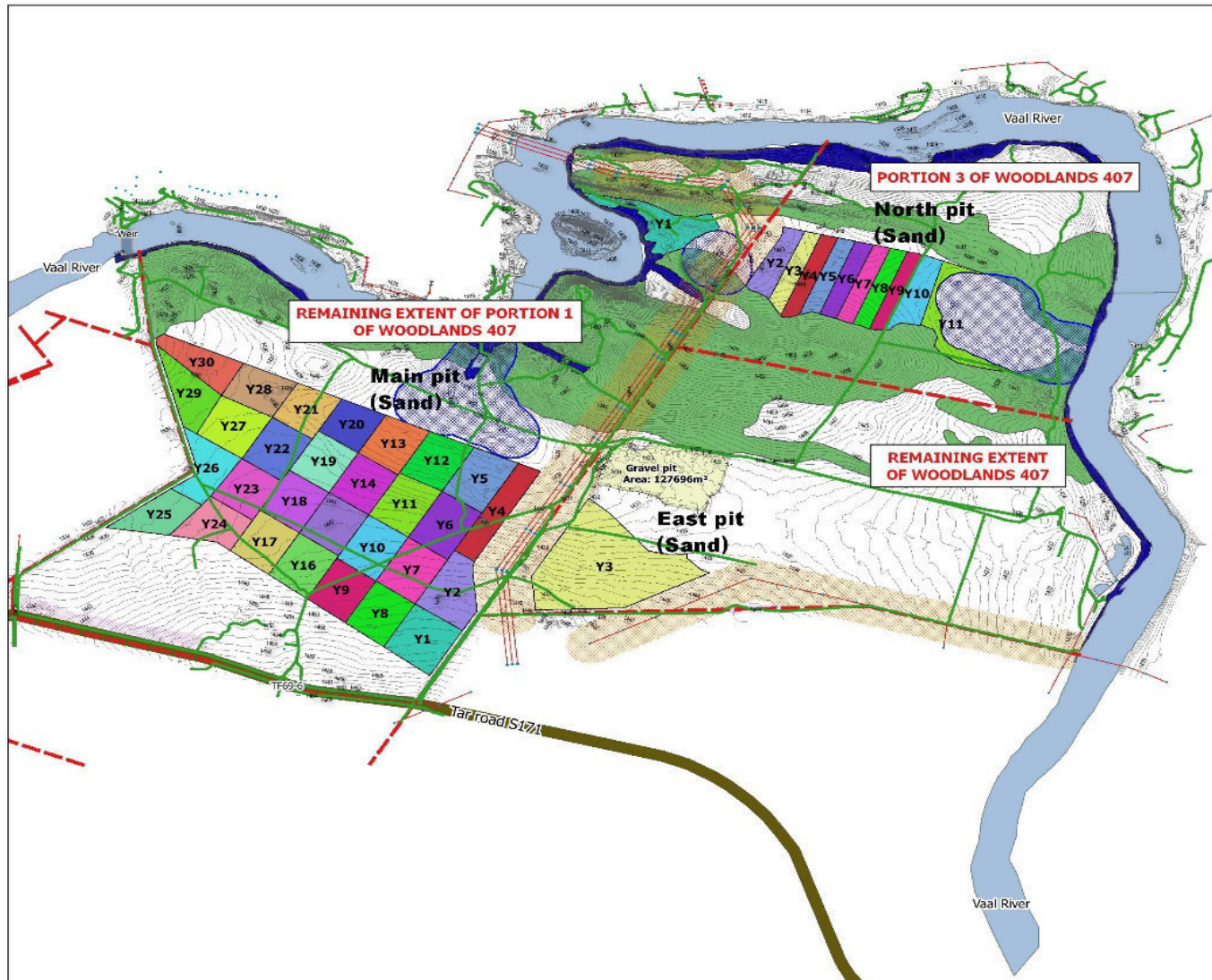
- Presented by Mader van den Berg



- Mining under the Mining Right will be undertaken by a “truck and shovel” method utilising suitably sized diesel driven equipment.
- A 363.5 ha area will be demarcated for phased open pit mining and associated infrastructure (to be mined over 30 years).
- The area containing the sand deposit will be mined in portions of on average 6.8 ha per year, with continuous roll-over rehabilitation.
- The area containing the aggregate resource will be mined in portions of on average 4.6 ha, per year.
- (Note these are averages based on the total minable area divided by 30 years)
- In some instances, the anticipated yearly mining area is larger than the average due to the limited volume of resource in that area.
- However, only 5ha sand and 4ha aggregate (9ha in total) will be actively mined at any given time at the various locations as indicated in the following figures.

Project Description - Scope of Proposed Activity

- Presented by Mader van den Berg



Legend

Goosebay Canyon Farm

- Tar road
- Vaal River
- Goosebay cadastral info
- Goosebay dams
- Gravel pit
- Ridges
- Riparian zone

Buffer zones

- 100m power line buffer
- 20m property boundary buffer
- 100m road buffer
- 102m wetland buffer (pre-mitigation)

CLIENT:
PURE SOURCE MINE

DRAWING TITLE:
Mining Works Program for Mining Right Application
DESCRIPTION:
Goosebay Farm 30 Year mining plan for main, east and north pit (Sand)

DATE: 2018-08-29 SCALE A3: 1:12 000

DRAWING NO: 1 of 1 DRAWING VERSION: 12

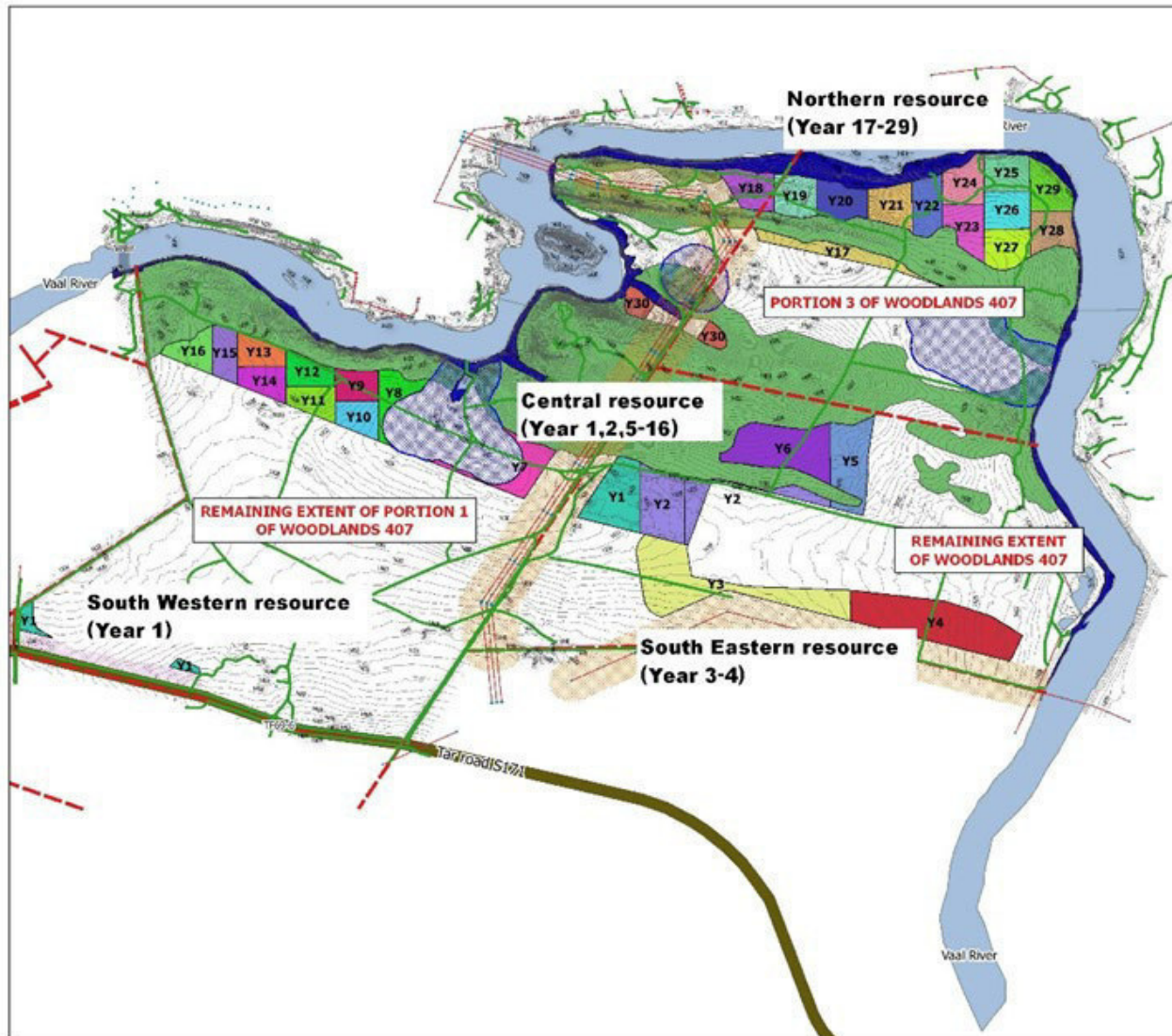
DRAWING PREPARED BY:
MR. MADER VAN DEN BERG
ML(Prof) IN LANDSCAPE ARCHITECTURE

CONTACT DETAILS:
P.O. BOX 14956
ZURFONTEIN
1912

TEL: +076 169 1435
FAX: 086 520 4677
EMAIL: mader@skels.co.za

Project Description - Scope of Proposed Activity

- Presented by Sonette Smit



Legend

Goosebay Canyon Farm

- Tar road
- Vaal River
- Goosebay cadastral info
- Goosebay dams
- Ridges
- Riparian zone

Buffer zones

- 100m power line buffer
- 20m property boundary buffer
- 100m road buffer
- 102m wetland buffer (pre-mitigation)

CLIENT:
PURE SOURCE MINE

DRAWING TITLE:
Mining Works Program for Mining Right Application
DESCRIPTION:
Goosebay Farm 30 Year mining plan for aggregate

DATE: 2018-08-29 SCALE A3: 1:12 000

DRAWING NO: 1 of 1 DRAWING VERSION: 12

DRAWING PREPARED BY:
MR. MADER VAN DEN BERG
ML(PROF) IN LANDSCAPE ARCHITECTURE

CONTACT DETAILS:
ROUFOX 14156
ZUURPONTEN
1912

TEL: +0776 169 1435
FAX: 066 520 4677
EMAIL: mader@skels.co.za

Project Description - Scope of Proposed Activity

- Presented by Sonette Smit



- The planned open pit mine will comprise three distinct areas for the silica sand (main pit, north pit and eastern pit) and four areas for the aggregate (northern pit, central pit, south eastern pit and south western pit).
- Each area considers an estimated maximum depth of 12 m but may exceed a depth of 12 m in certain areas.
- The entire application area could have potential for diamond bearing gravels.
- The anticipated life of the mine is 30 years.
- An overview of the mining method for the three commodities is described below.

Project Description

- *Presented by Mader van den Berg / Michael Cocks / Robert Schimpers*



- During Years 1 and 2, mining will consist only of excavating sand and aggregate at the locations as set out in the 30 year mining plan (Previous figures).
- The processes will include screening and crushing.
- Prospecting of diamonds will also occur during this time.
- The only infrastructure that will be constructed in the beginning of Year 1 will be roads, weighbridge, offices and a security check point.
- During this time other preparations may include the installation of the water supply line, electrical supply and cut-off trenches.
- The wash plant, drying plant, workshop, settling ponds and Pollution Control Dams (PCDs) will be finalised during year 2.

Project Description – Mine Plan

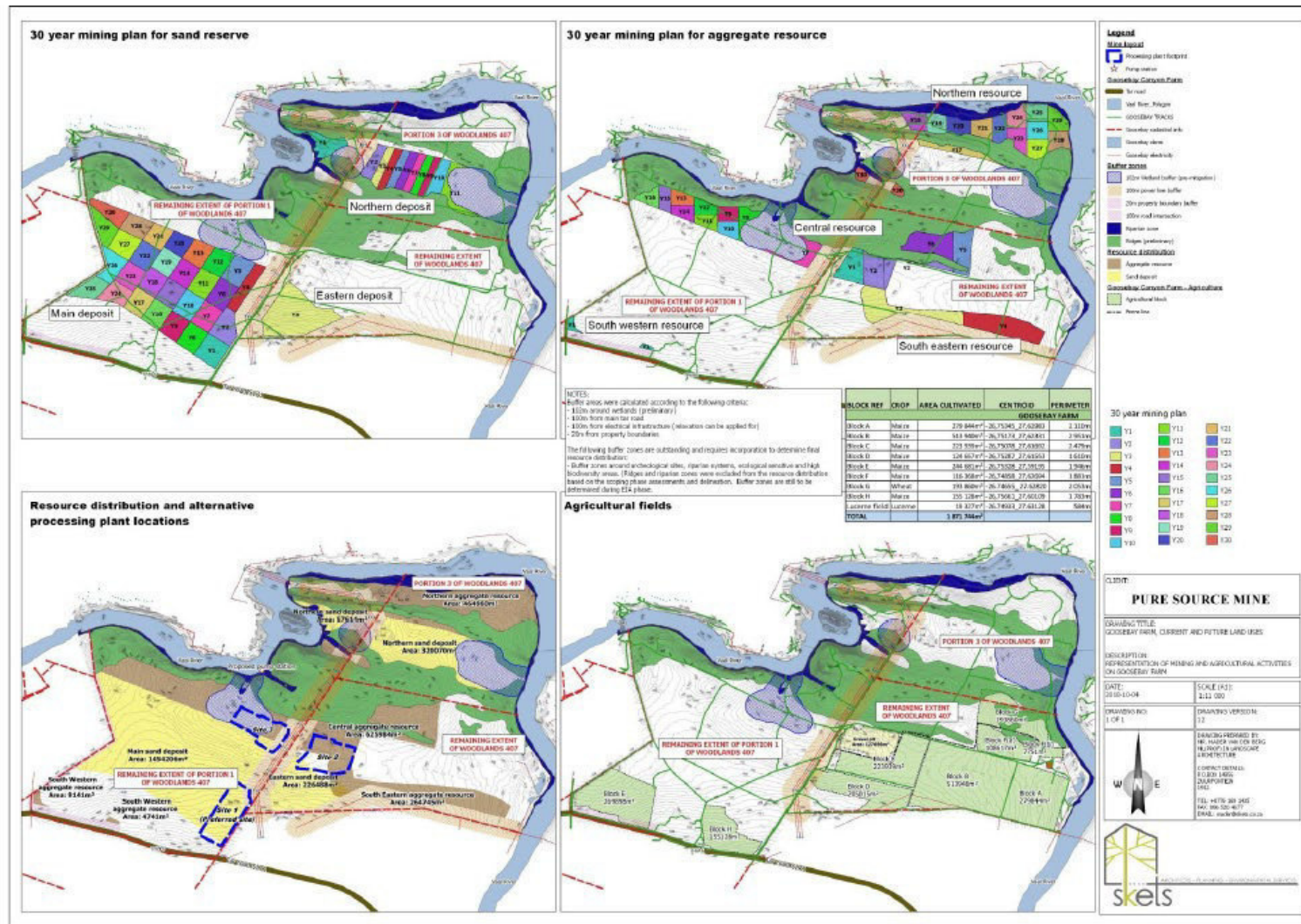
- *Presented by Mader van den Berg / Michael Cocks*



- Between Years 3 to 27, full production of sand and aggregate/gravel is expected during which the wash plant and drying plant will be in use.
- Depending on the outcome of the diamond prospecting, diamondiferous gravel may also be processed.
- During Years 27 to 30, production will decrease to meet closure targets at the end of Year 30.
- As such, Years 1 and 2 can be classified as the construction phase for specialised sand, in conjunction with mining activities for screened products only.
- Years 3 to 30 will be the operational phase with the last three years involving the lowering of production to achieve closure objectives.

Project Description – Mine Plan

- Presented by Mader van den Berg / Michael Cocks



Project Description

- *Presented by Mader van den Berg / Michael Cocks / Robert Schimpers*



Sand Mining

- Prior to commencement of sand mining, topsoil will be removed from the area demarcated for mining and stockpiled next to the pit for the purpose of rehabilitation.
- The sand will be mined in benches and reject material will be backfilled into the void as mining advances.
- Opencast benches will be established with a maximum height between 1.5 m to 3 m.
- Sand will either be screened in the pit or transported by truck or conveyer to the washing plant.

Project Description

- Presented by Mader van den Berg / Michael Cocks / Robert Schimpers



Project Background

- Silica sand, aggregates and diamondiferous gravels are present on the relevant portions of the Farm Woodlands and have historically been mined on the property.
- The types of sand present on Portions 1 (Remainder), 3 and the Remaining Extent of the Farm Woodlands 407 vary from light yellow plaster, dark yellow plaster, white plaster, grey plaster, building to red sand.
- The anticipated life of the mine is 30 years with an option to renew if the mining programme is not yet completed.
- The closure objective is to develop the farm portions as an eco-estate with residential and hospitality facilities on the banks of the Vaal River.
- The application area is currently utilised as a game farm and tourism destination and this will continue to remain the primary land use with other agricultural activities such as crop production and livestock farming.
- Mining is an interim land use and it will be conducted in a sensitive manner that will not have a negative impact on the game, farming operations or tourism activities.

Sand Mining

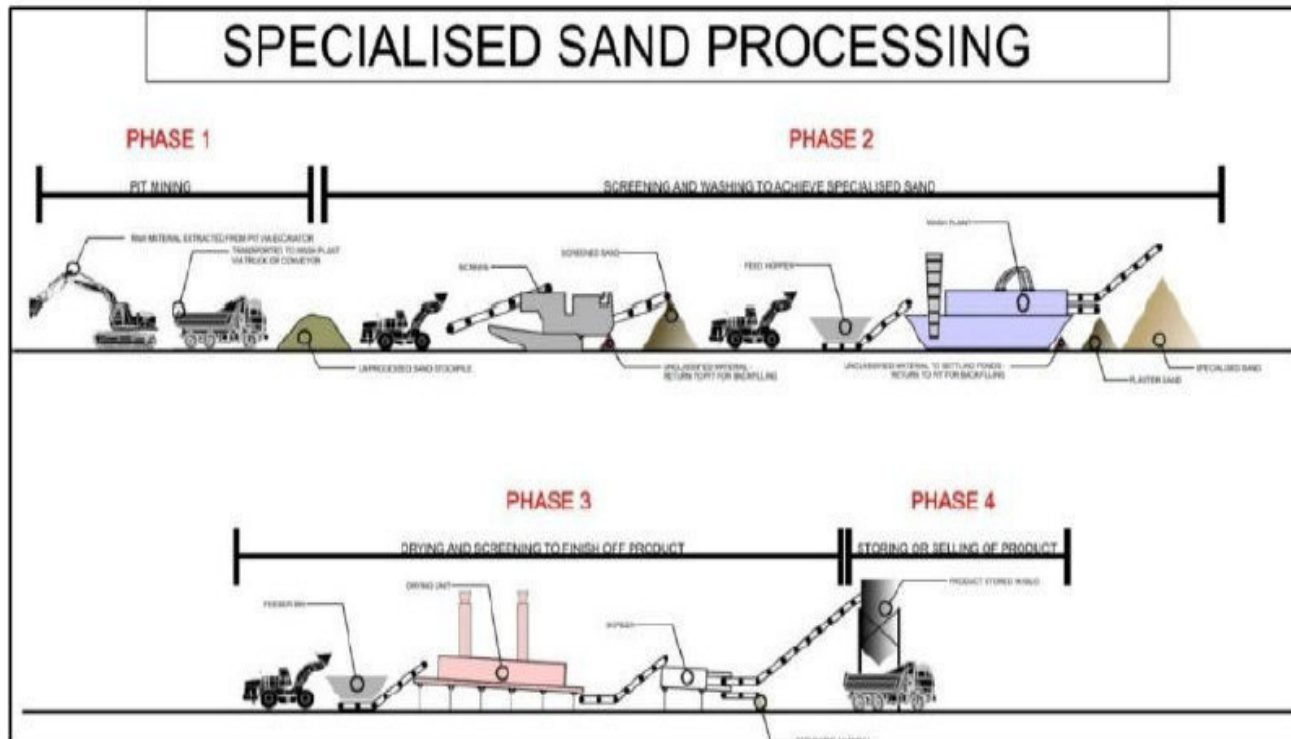
- A total sand resource of 21 910 291 m³ is estimated for the application area.
- The average depth of the sand deposit is 10.64 m.

Project Description

- Presented by Robert Schimpers
/ Mader van den Berg / Michael Cocks



Sand Mining



Project Description

- *Presented by Mader van den Berg / Michael Cocks / Robert Schimpers*

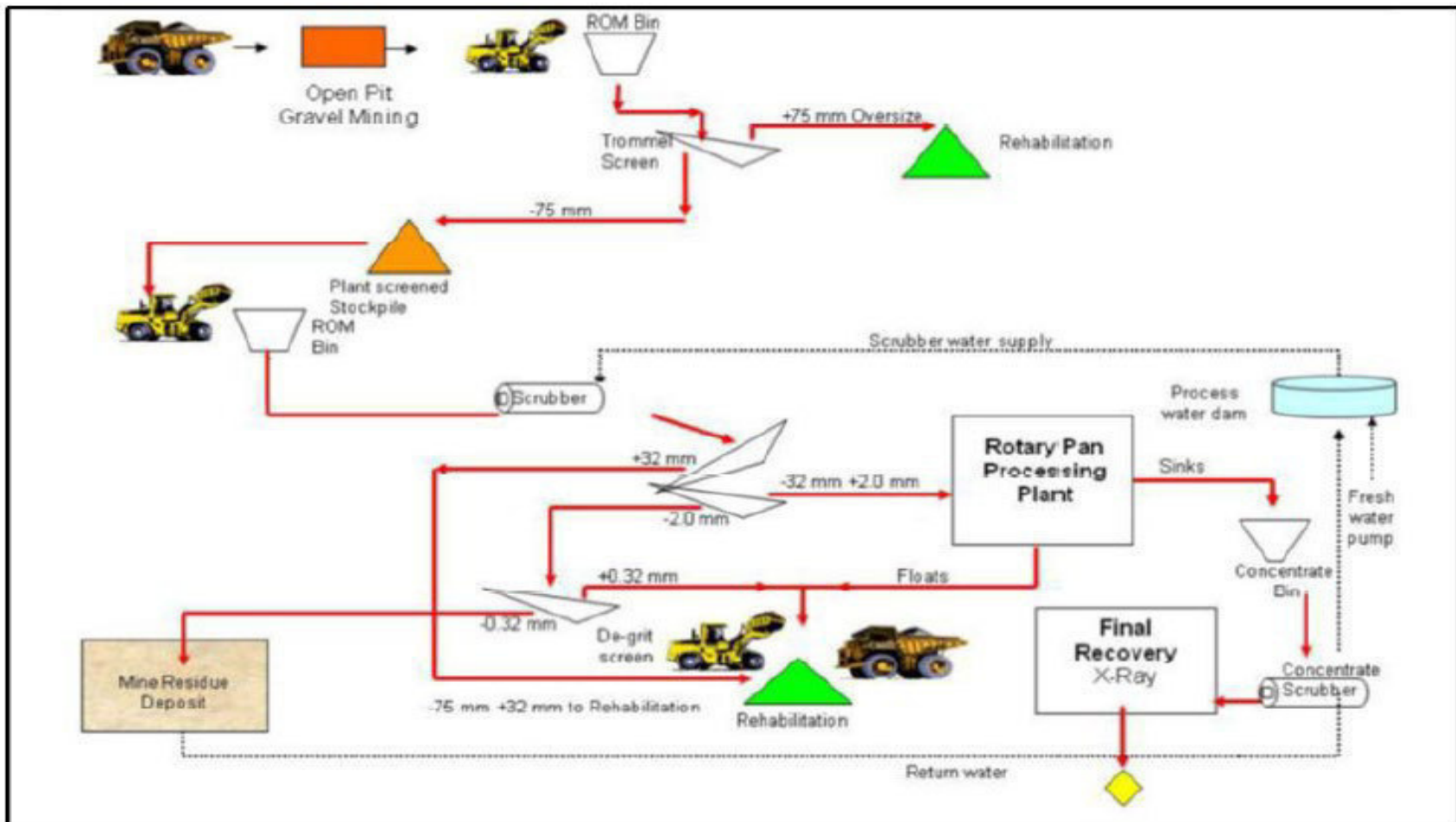


Alluvial Diamond Mining

- Once sand mining has commenced, the underlying gravel (potentially diamondiferous) will be exposed and Reverse Circulation boreholes will be drilled to ascertain gravel quality and the diamond potential. Where appropriate, the gravel will be excavated and screened.
- The oversize will be used as infill, the -2 mm will report to the sand mining operation and the +2-32 mm fraction will be processed near the pit, to extract diamonds.
- The diamond potential exists across the entire project area, but will initially be evaluated in the Main, Northern and East sand deposit area. Should diamond potential be established via the proposed drilling programme referred to above, the appropriate gravel fraction will be transported to an on-site processing plant to extract diamonds.
- The alluvial diamond mining process will commence should the Mining Right be granted.

Project Description

- Presented by Robert Schimpers / Mader van den Berg / Michael Cocks



Project Description

- *Presented by Mader van den Berg / Michael Cocks / Robert Schimpers*



Aggregate Mining

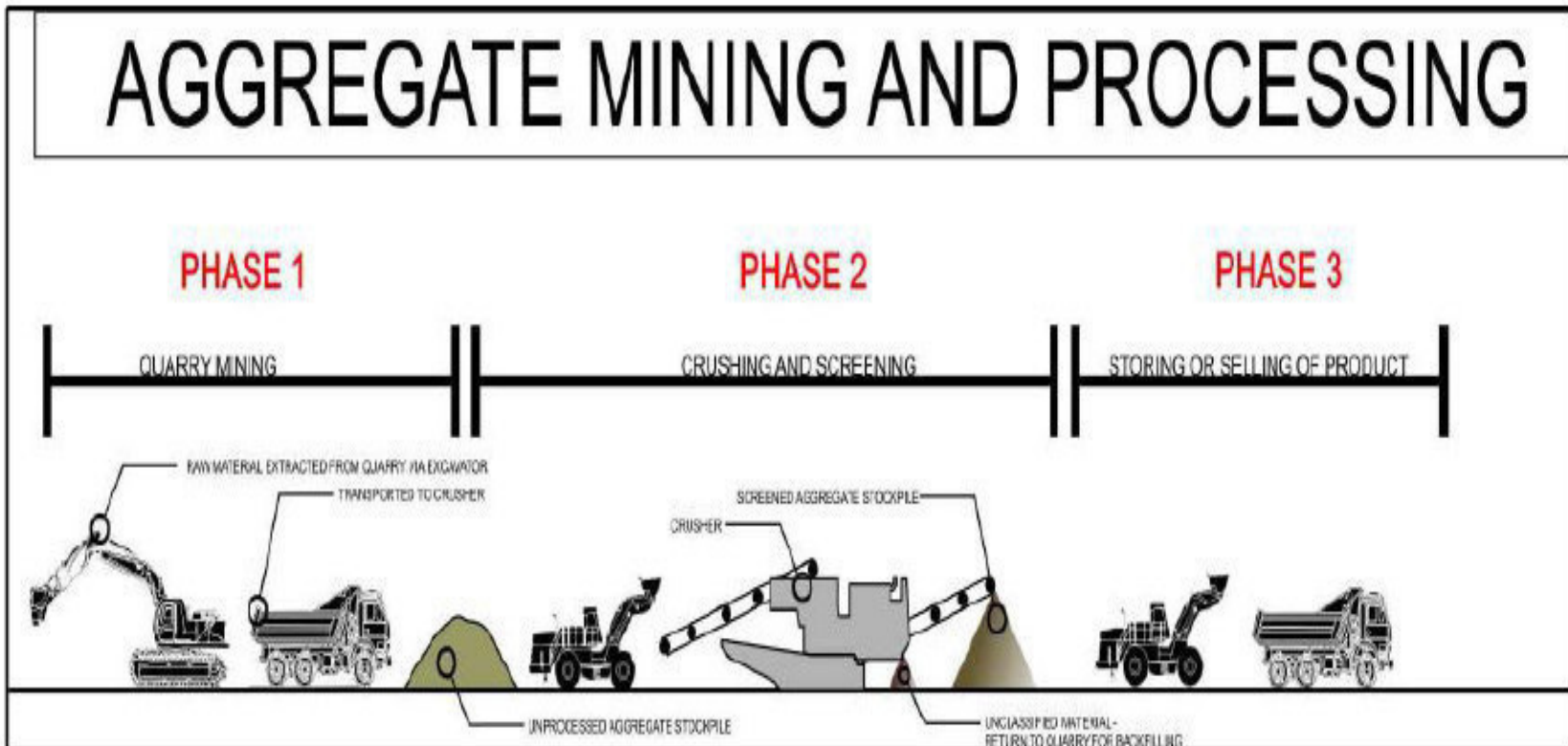
- In the absence of sand, topsoil will be stripped to expose aggregate and stockpiled prior to excavating the aggregate.
- The excavated aggregate will be crushed in the pit by a mobile crusher and reject material will be backfilled into the void as mining advances.
- All of the outcropping and underlying sediments on this property could be used for aggregate.
- Oxidised aggregate is suitable for decorative purposes, but not for use in the civil construction industry.
- From test pits dug on the application area, the total volume of fresh aggregate to an average depth 6.98 m is calculated at 9 565 043 m³ and approximately 7.67 m for oxidised aggregate with a total volume of 10 498 882 m³.

Project Description

- Presented by Mader van den Berg / Michael Cocks / Robert Schimpers



Aggregate Mining



REHABILITATION

- Presented by Mr Mader van den Berg
- Skets Architects & Planning



- Phased mining will be carried out which will include the clearance of the surface cover to access the underlying resource/s.
- The process of roll-over mining will utilise topsoil in the best way by immediately placing it on an area that is ready for rehabilitation.
- To achieve an effective mining sequence, a maximum of 4 phases/blocks will either be actively mined, and/or in the process of rehabilitation.
- First block – Active mining
- Second block – Shaping and profiling
- Third block – Topsoil spreading
- Forth block – Monitoring of rehab
- At no point will active mining occur in an area larger than 5ha for sand and 4ha for aggregate (Not to be confused with yearly averages)
- On average (per year), ± 28 ha and ± 20 ha of the sand and aggregate mining area, will be either actively mined or in the process of being rehabilitated, respectively.
- The average total disturbed area will be ± 48 ha per year as a worse case scenario. (includes average 36ha in process of being rehabilitated)
- **At no point will active mining occur in an area larger than 5ha for sand and 4ha for aggregate.**

REHABILITATION

- *Presented by Mr Mader van den Berg*
- *Skets Architects & Planning*



- Refer to the 30 year mining plan for the anticipated yearly sizes of the mining phases.
- 13.5ha will be allocated to fixed mining infrastructure, i.e. the processing plant.
- No vegetation outside of the active blocks may be disturbed until it is time for that specific area to be mined.
- Furthermore, upon finishing a block, immediate rehabilitation should occur wherein a stable vegetation cover is established with at least a grass cover.

Project Description – Mine Plan

- Presented by Mader van den Berg / Michael Cocks



Project Description – Mine Plan

- Presented by Mader van den Berg / Michael Cocks

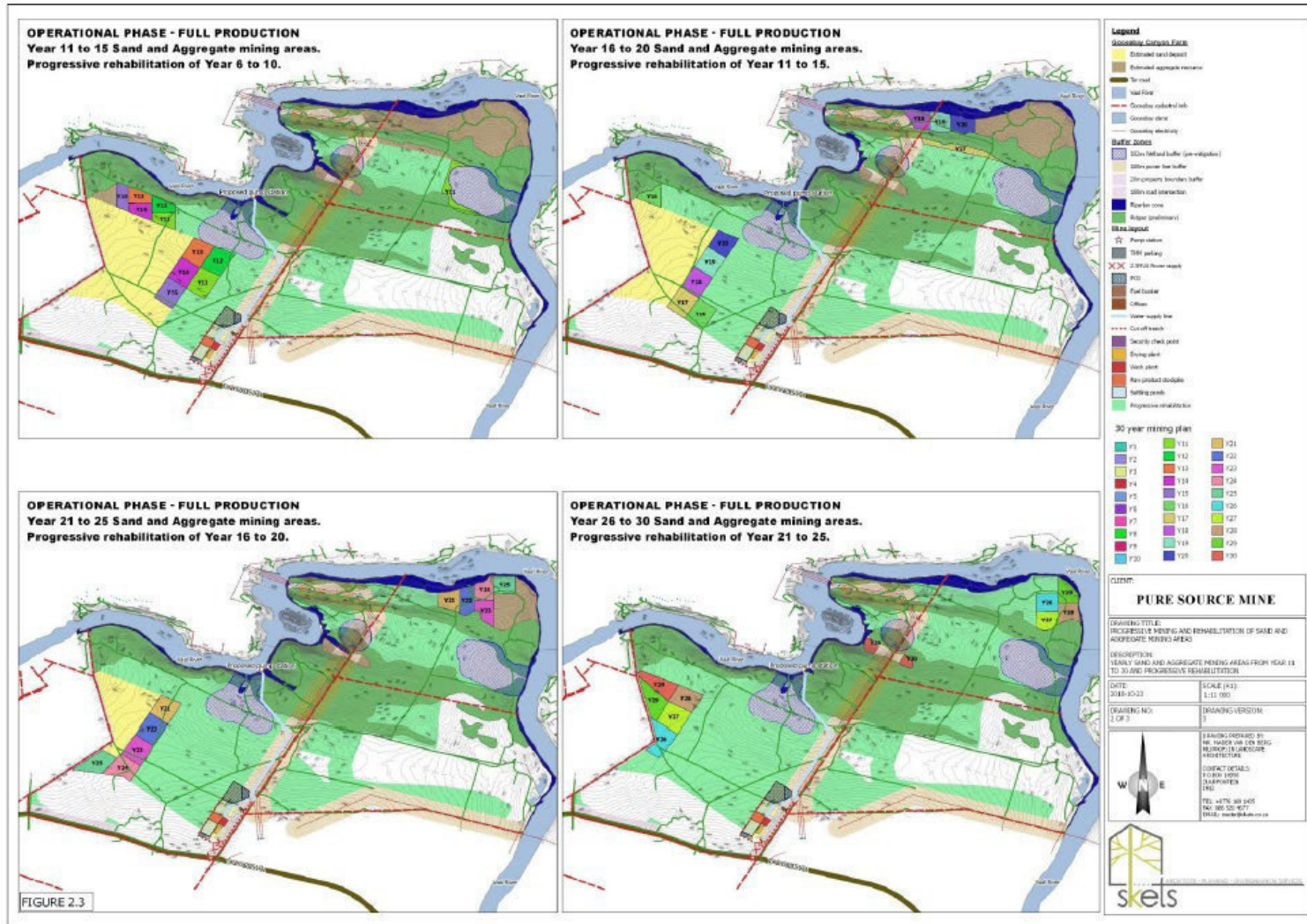
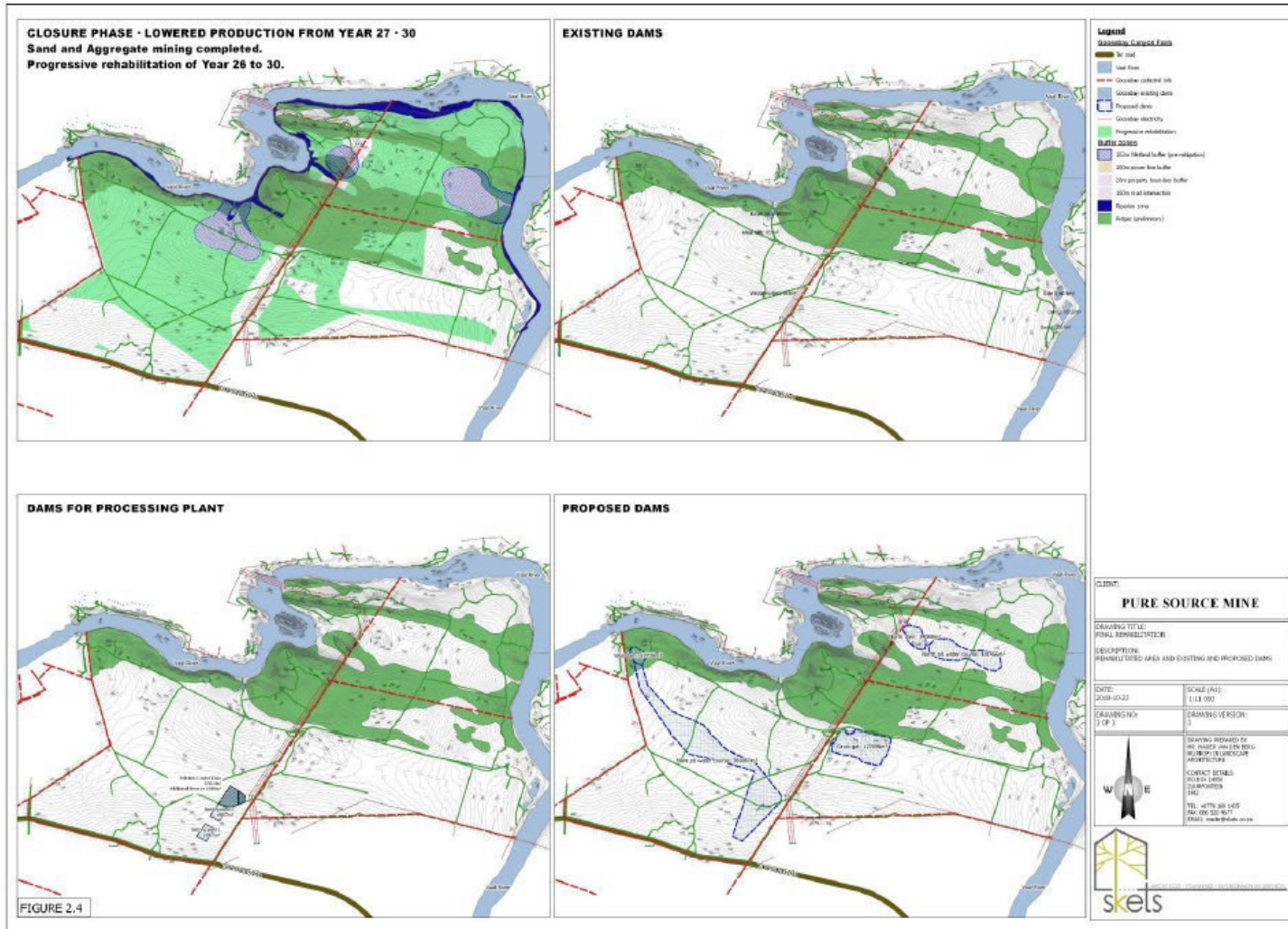


FIGURE 2.3

Project Description – Mine Plan

- Presented by Mader van den Berg / Michael Cocks



REHABILITATION - CONCURRENT REHABILITATION AND PROGRESSIVE CLOSURE

- *Presented by Mr Mader van den Berg*
- *Skets Architects & Planning*



The suggested roll-over mining procedure is a form of concurrent rehabilitation to minimise the mining company's environmental liability. This is aligned with the closure objectives and aim at reducing impacts surrounding air quality, visual impacts and surface water quality by minimising surface disturbances.

Historically, closure was seen as an intervention left to the end of the life-of-mine. The concept of progressive closure aligns hand-in-hand with concurrent rehabilitation which is rather part of the operational phase and developed in parallel with the mining activities. Previous figures proposes the anticipated progress of the mine from year 1 to 30. It also illustrates how concurrent rehabilitation follows mining. Take note that mining will commence in three different locations in the first year. Sand mining will occur in the main- and north pit, whereas aggregates will commence in the central region. As mining progresses, the active mining areas will shift accordingly.

REHABILITATION - MINING AND REHABILITATION SEQUENCING

- *Presented by Mr Mader van den Berg*
- *Skets Architects & Planning*



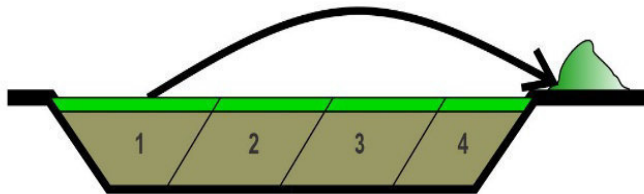
- Roll-over mining is further illustrated in more detail in the figures below. It illustrates the typical handling of topsoil and integrated rehabilitation during the operational phase. The block-by-block approach is clearly discussed, considering that not more than 5ha for sand and 4ha for aggregate will be actively mined at any given time.
- After a block has been mined, it will go through several preparation steps before topsoil is placed on it. Firstly, it will be shaped by profiling the slopes of the pit to a gradient between 18-27° or less. Oversized or undersized material that has been screened out, could be used to profile the pit. Secondly, the necessary cover design should be implemented depending on the end land use of the mine site. In most cases, the site will return back to a vegetation cover, but as part of the post closure strategy, certain areas may be allocated for dams or water courses. The third step involves the spreading of a growth medium or topsoil. This shall be protected, maintained, and managed until 60% of the area is covered with vegetation.
- A monitoring and maintenance program will commence until a stable and safe landform with sufficient vegetation establishment has been reached

REHABILITATION - MINING AND REHABILITATION SEQUENCING

- Presented by Mr Mader van den Berg
- Skets Architects & Planning

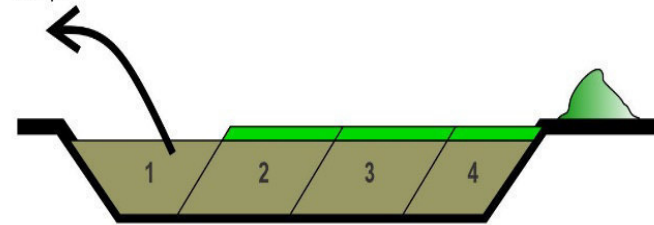
Phase 1:

Remove minimum 300mm topsoil from first mining strip and place adjacent to last mining strip.



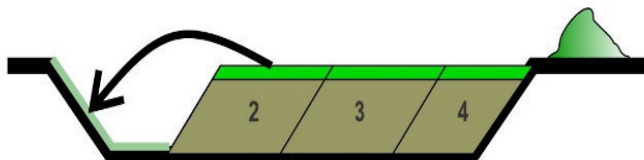
Phase 2:

Mine sand to depth of sand deposit. Excavation and loading onto dump trucks will occur within the active mining strip.



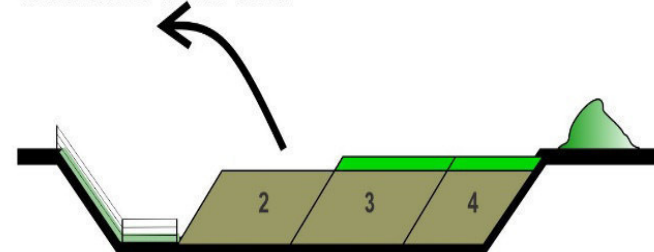
Phase 3:

By the time strip 1 is completely mined, topsoil from strip 2 is placed directly on strip 1. Side slopes should be flattened to required specification before topsoil is spread.



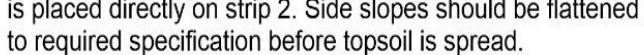
Phase 4:

Once topsoil is placed on strip 1, mining can proceed in strip 2. Strip 1 should be temporarily fenced to prevent additional disturbances in that area.



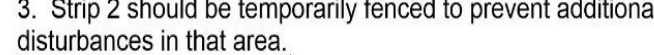
Phase 5:

By the time strip 2 is completely mined, topsoil from strip 3 is placed directly on strip 2. Side slopes should be flattened to required specification before topsoil is spread.



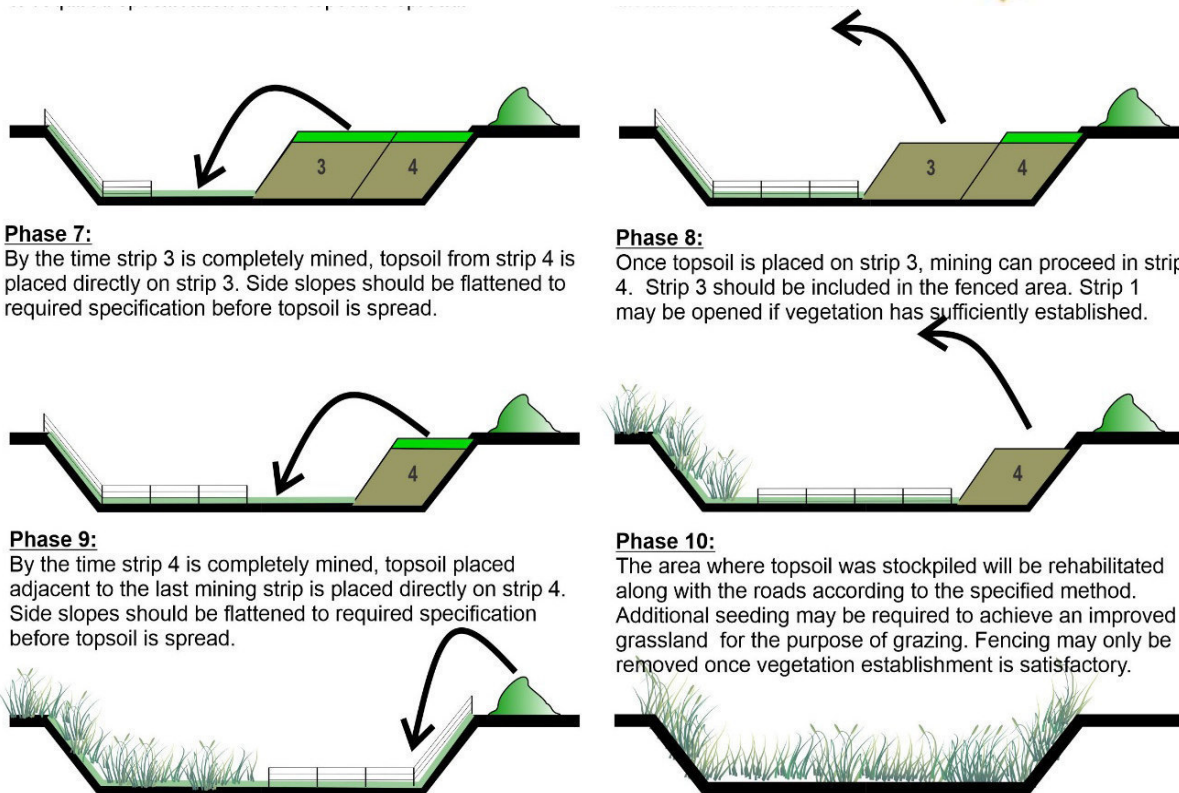
Phase 6:

Once topsoil is placed on strip 2, mining can proceed in strip 3. Strip 2 should be temporarily fenced to prevent additional disturbances in that area.



REHABILITATION - MINING AND REHABILITATION SEQUENCING

- Presented by Mr Mader van den Berg
- Skets Architects & Planning



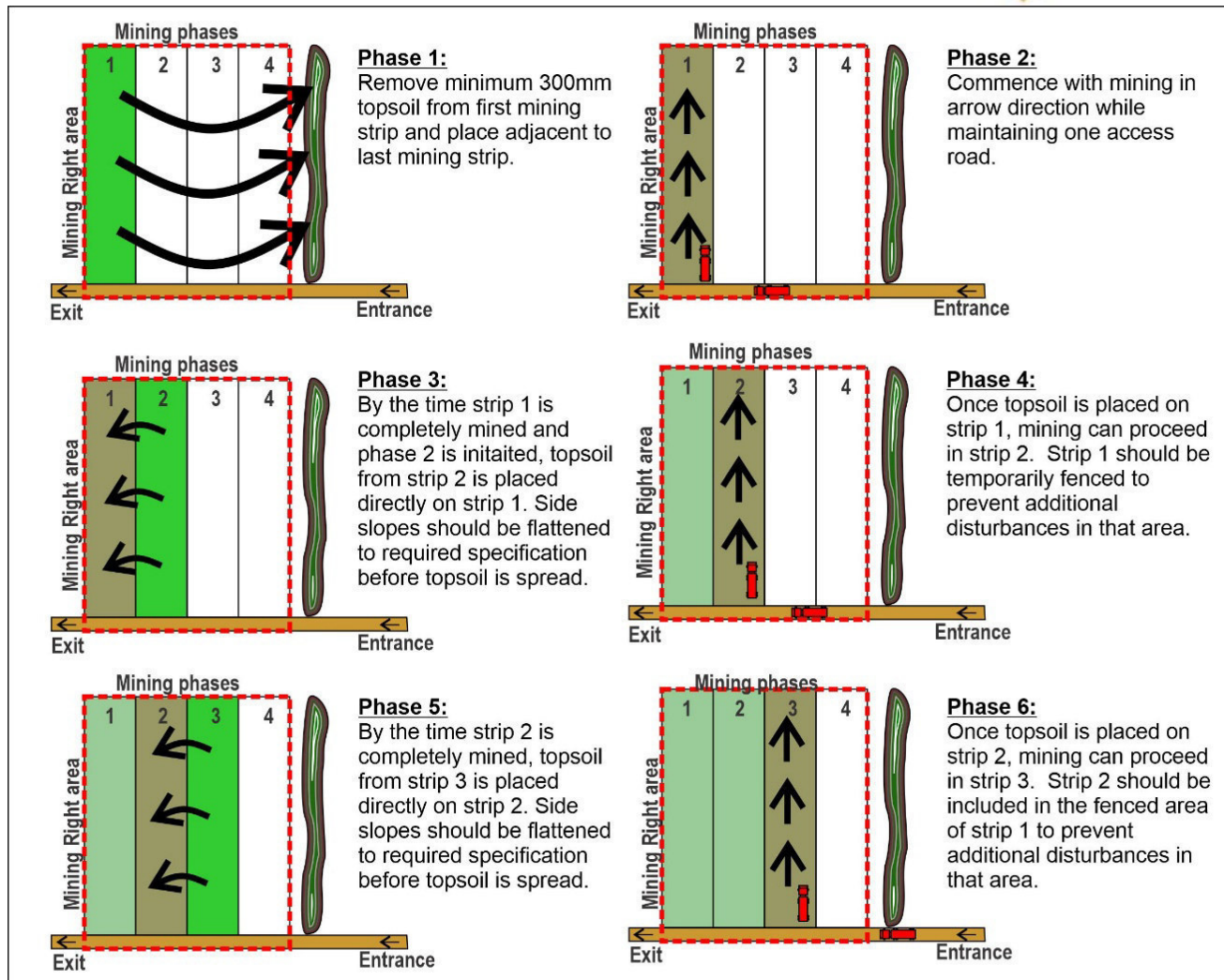
CONCEPTUAL ROLL-OVER MINING ILLUSTRATION

DATE: 2019/07/09

SCALE: Not to Scale. For illustrative purposes only.

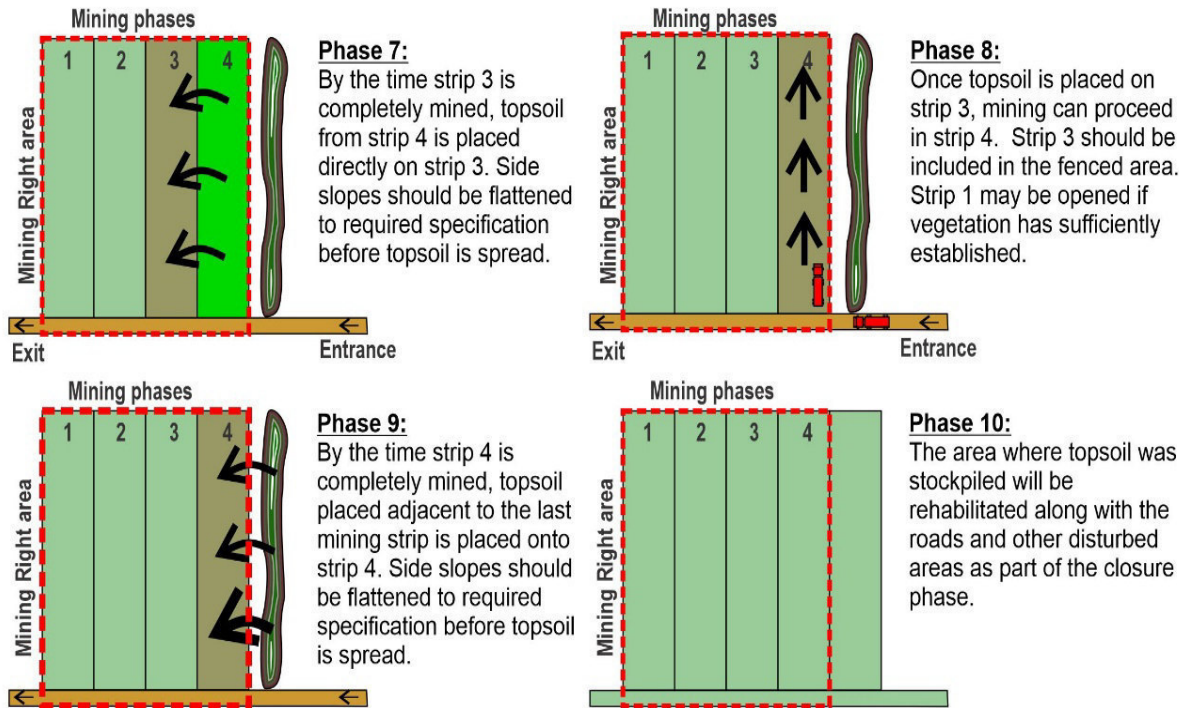
REHABILITATION - MINING AND REHABILITATION SEQUENCING

- Presented by Mr Mader van den Berg
- Skets Architects & Planning



REHABILITATION - MINING AND REHABILITATION SEQUENCING

- Presented by Mr Mader van den Berg
- Skets Architects & Planning



CONCEPTUAL ROLL-OVER MINING ILLUSTRATION

DATE: 2019/07/09

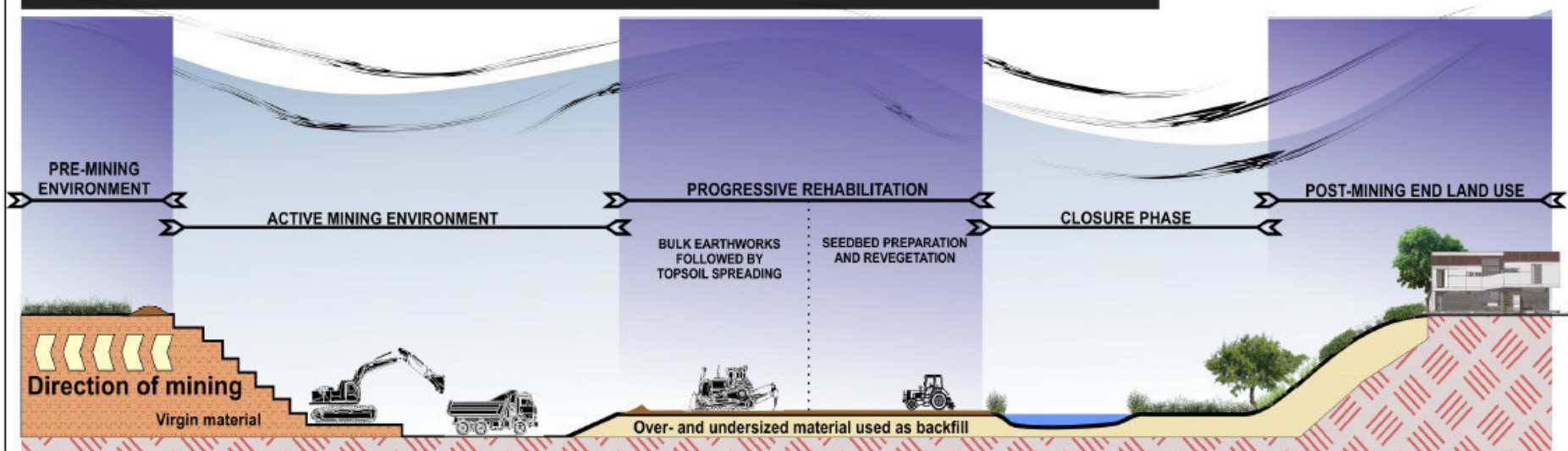
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Rehabilitation

- Presented by Mr Mader van den Berg
- Skets Architects & Planning

MINING PROCESSES AND PROGRESSIVE REHABILITATION STRATEGY TOWARDS AN END LAND USE



REHABILITATION - ESTABLISHING VEGETATION

- *Presented by Mr Mader van den Berg*
- *Skets Architects & Planning*



- Experience gained during the rehabilitation of the Former Mining permit and prospecting areas, has added significant knowledge to the strategy of establishing vegetation after mining.
- One such aspect of knowledge gained as above, is the roll-over mining concept that makes maximum use of the topsoil as a cover with the necessary qualities to support a rapid vegetation establishment.
- As a minimum objective, a vegetation coverage and diversity, similar to (and ideally , wherever feasible , superior to) the original natural vegetation cover of the pre-mining environment, should be achieved. An improved grazing quality is however recommended, but can only be achieved if soil conditions are improved, i.e., nutrient cycles, water absorption capacity, etc, and with the introduction of high quality grazing grass species.

REHABILITATION - ESTABLISHING VEGETATION

- *Presented by Mr Mader van den Berg*
- *Skets Architects & Planning*



Appropriate soil tests should be carried out to confirm the nutrient content as well as pH balance, etc., in order to establish the required amelioration by means of inorganic/organic supplements prior to seeding.

From the rehabilitation of the former Prospecting and mining permit areas, it was often noticed that agricultural lime had to be added as well as organic material. This is where grass cuttings from the pre-mining areas or hay bales, are extremely valuable.

By spreading the grass cuttings over the newly laid topsoil, it benefits in the following ways:

- It covers the exposed topsoil and limits wind erosion and rain splash erosion of the surface particles, especially on the slopes;
- It retains moisture levels by limiting evaporation, thereby supporting vegetation growth;
- It adds organic matter to the top layer that will decompose over time, releasing nutrients and stimulating micro-organism activity in the soil layer; and
- It provides a protective mulch that regulates temperature fluctuations in the surface which also protects the seeds and enhances germination. 53

REHABILITATION - ESTABLISHING VEGETATION

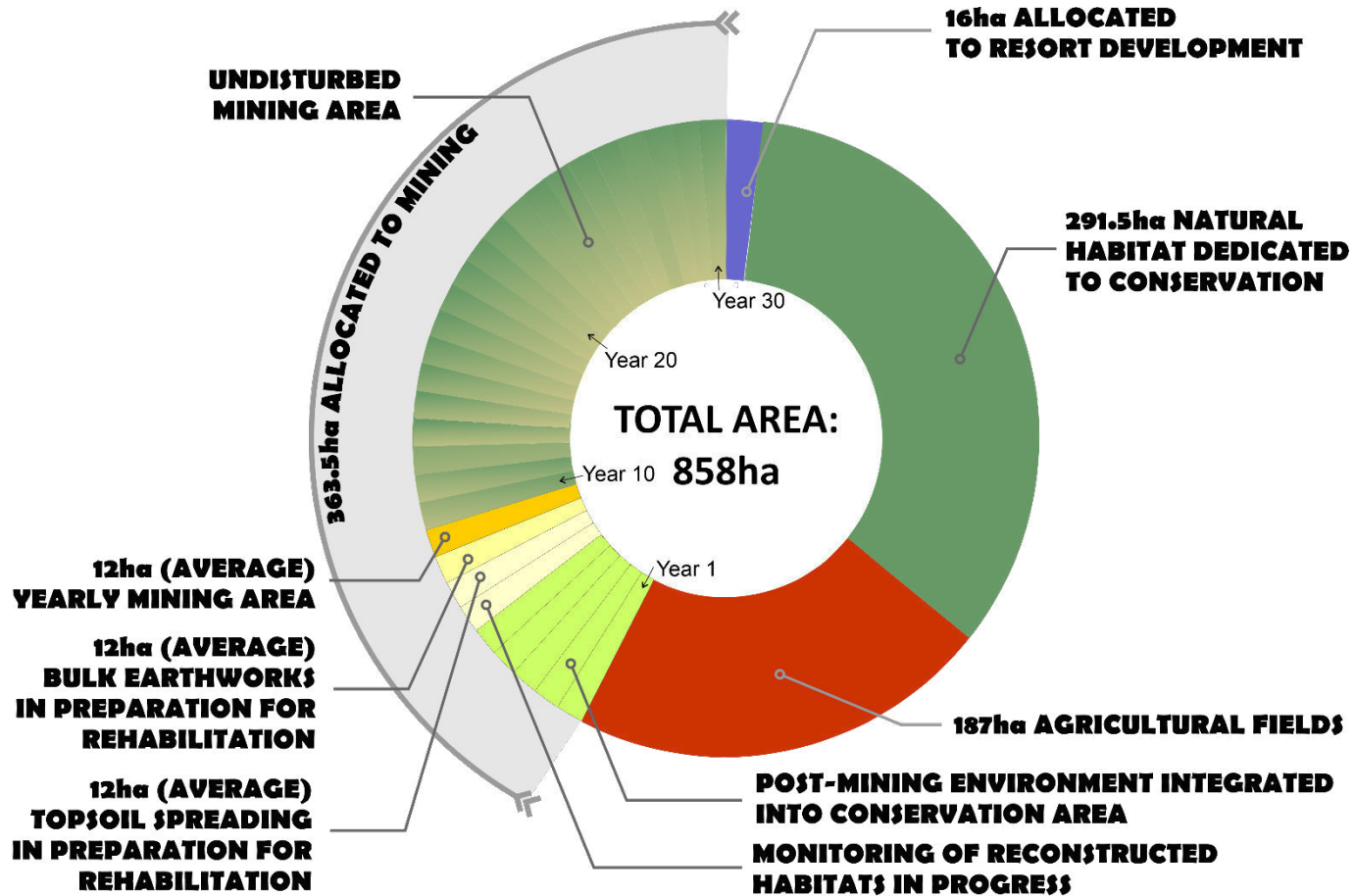
- *Presented by Mr Mader van den Berg*
- *Skets Architects & Planning*



- If there are insufficient grass cuttings to cover the entire area, the available grass cuttings can be laid in windrows, perpendicular to the prevailing wind direction to act as windbreaks. This will minimise wind erosion and provide a stable soil environment for vegetation establishment. Alternatively, bio-engineering options for example geo-fabrics could be installed.
- It was noted during the rehabilitation of the Mining permit and prospecting areas that some game congregated in the newly planted areas to graze the new growth. This caused severe damage to the young seedlings and prolonged vegetation establishment. It is recommended that the areas under rehabilitation are enclosed with a temporary fence to keep out the larger game from the area until sufficient vegetation establishment is achieved. It should remain closed for at least two growing seasons or when the vegetation coverage is 60% or more.
- Adaptive Management & Monitoring will commence in which accumulated knowledge and best practice research influences the following phases of the mine. Regular data sourcing feeds back into the active rehabilitation efforts and mining operations.

Proportional Land Use Allocation

- Presented by Mr Mader van den Berg
- Skets Architects & Planning



**PROPORTIONAL LAND USE ALLOCATION
ACROSS THE APPLICATION AREA:**

REHABILITATION – PHOTOGRAPHS OF PREVIOUSLY MINED / PROSPECTED - NOW REHABILITATED AREAS

- *Presented by Mr Robert Schimpers*



Rehabilitation of areas previous prospected for aggregate



REHABILITATION – PHOTOGRAPHS OF PREVIOUSLY MINED / PROSPECTED - NOW REHABILITATED AREAS

- *Presented by Mr Robert Schimpers*



Rehabilitation of areas previously mined for sand



REHABILITATION – PHOTOGRAPHS OF PREVIOUSLY MINED / PROSPECTED - NOW REHABILITATED AREAS

- *Presented by Mr Robert Schimpers*



Rehabilitation of areas previously

Mined for sand



Prospected for Aggregate



REHABILITATION – PHOTOGRAPHS OF PREVIOUSLY MINED / PROSPECTED - NOW REHABILITATED AREAS

- *Presented by Mr Robert Schimpers*



Rehabilitation of areas previously mined for sand



REHABILITATION – PHOTOGRAPHS OF PREVIOUSLY MINED / PROSPECTED - NOW REHABILITATED AREAS

- *Presented by Mr Robert Schimpers*



Rehabilitation of areas previously mined for sand



REHABILITATION – PHOTOGRAPHS OF PREVIOUSLY MINED / PROSPECTED - NOW REHABILITATED AREAS

- *Presented by Mr Robert Schimpers*



Rehabilitation of areas previously prospected for sand and aggregates



Vehicle access from and to the proposed mining development is suggested from Road S171 by means of an existing farm access road. Upgrading of the existing farm access road will be considered to accommodate the proposed development.

Road S171

A visual investigation of the relevant section of the Road S171 was conducted. It was noted that the road surface is in a poor condition with multiple potholes and it is possibly deterioration.

Engagements with Roads authorities

A meeting has been held at Goosebay Farm, same attended by the Department of Police Roads and Transport Free State, MCCP consultants and representatives of the land owners and mining companies respectively involved at the **Sweet Sensations** and **Tja Naledi** mines.

Proposed action plan

It is recommended that a Roads Maintenance Plan be prepared as part of an access to roads application submitted to Department of Police Roads and Transport, in collaboration with other landowners, developments and mines, to ensure the availability of a road network to transport workers and mined product.

Farm Access Roads - Presented by Mr Leon Roets (PR Eng) Siyazi Transportation Services



Need and Desirability of the Project

- Presented by Mark van Wyk



- Mining is important for economic development, to construct durable, modern structures, employment creation and revenue collection.
- The proposed site has previous sand mining activities, known to provide good quality silica sand to the local and regional building industry.
- This type of sand is commonly utilised in concrete mixtures in the construction industry.
- Sand is also used for mortar and rendering of plastered walls. The project site is located in the Ngwathe Local Municipality, and according to the municipality's 2018/19 Local Economic Development Strategy, the identified economic sectors of the municipality are Tourism, Agriculture, Manufacturing and Mining.

Need and Desirability of the Project

- Presented by Mark van Wyk



- Extensive investigations and market research over at least the past 5 years, conducted by MCCP and others has revealed that there is a shortage of alluvial silica sand in the Pretoria Witwatersrand-Vaal industrial complex. Alluvial silica sand has a greater utility than silica sand that is created by means of crushing processes.
- Furthermore, many of the previously existing abundant alluvial silica sand mines located in the Vaal Triangle (such as Copper Sunset, Skysand and Mission Point mines) are on the verge of being exhausted, thus making the mining of the existing resource at the Pure Source Mine both necessary and desirable, with regards to economic considerations
- **The economic impact of the mine is of great significance**
 - - The economy will be directly stimulated by the royalties and taxes payable by the mine
 - - Many jobs will be created directly by the mine and hundreds of persons will be supported directly from these said jobs
 - - Many jobs will also be created indirectly by the mining operations, by the Supply and maintenance of the equipment used by the mine as well through its horizontal and vertical integration in the mining sector (including but not limited to transportation, marketing, re-sale, mine supply, beneficiation and a host of other commercial activities)
 - - In-short, the economy will be greatly stimulated from the commercial activities relating to and caused both directly and indirectly by the mine

Envisaged End Land Use - *Presented by Mark van Wyk*



- The Applicant holds an Environmental Authorisation for the establishment of an Eco-Estate with residential, resort and conservation land uses. Certain areas of the application area are currently utilised for agricultural purposes (in the form of Game Farming, free-range grass-Fed livestock farming, production of free-range eggs, crop and vegetable production) and eco tourism. Further agricultural projects currently in planning for implementation in the near future include planting of fruit tree Orchards and Groves of Nut Trees, as well as Fish Farming and eco- tourism.
- These two functions will continue to remain the primary land uses during the mining activities.
- Should the project be rejected, the Applicant will progress with the establishment of the Eco- Estate (with the abovementioned Agricultural uses).
- As such, the status quo of the properties under application will ultimately change, irrespective of the mining activities.
- Should the applicant not conduct mining activities there is no doubt that other parties will apply for mining authorisations.
- These parties will not be the land owner and may not have the interests of conserving the property and ensuring the wellbeing of I&AP's

Envisaged End Land Use - *Presented by Mark van Wyk*



- The closure objective is to develop the farm portions as an eco-estate with residential and hospitality facilities on the banks of the Vaal River.
- The process to obtain the necessary Environmental Authorisation was initiated more than a decade ago (thus confirming the landowner's intentions in this regard).
- The environmental authorities were approached in terms of the relevant legislation.
- The Record of Decision (RoD) confirming the Environmental Authorisation (EMS 02/09/13), was accordingly issued on the 12 January 2011, years before the mining right was applied for.
- The application area is currently utilised as a Game Farm and in order to raise grass-fed livestock and farm organic eggs. These uses will continue to remain the primary land use with other agricultural activities, such as sustainable crop production.
- Mining is an interim land use and it will be conducted in a sensitive manner that will not have a negative impact on the wildlife.

Envisaged End Land Use - *Presented by Mark van Wyk*



Goosebay Farm (Pty) Ltd owns three farm portions, more particularly:

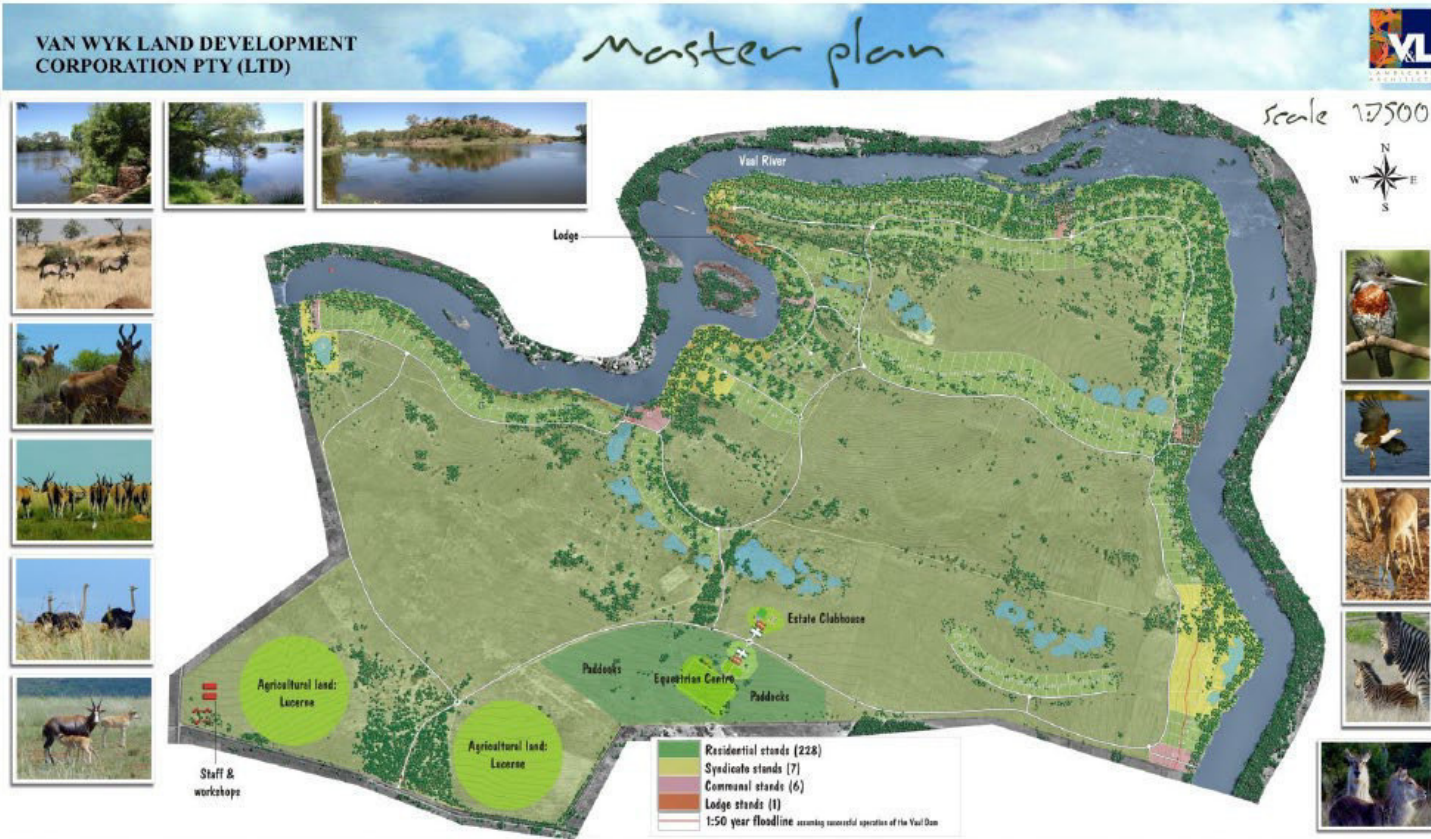
- Remaining Extent of Woodlands 407;
- Remaining Extent of Portion 1 of Woodlands 407; and
- Portion 3 of Woodlands 407;

These farm portions were acquired during 2005 and are collectively known as Goosebay Farm.

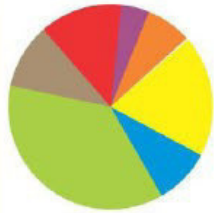
I have enclosed herewith a layout showing the future land use of Goosebay Farm and a further layout showing the proposed development of an Eco Estate on same;

Goosebay Farm (Pty) Ltd has obtained Environmental Clearance in respect of the development of the proposed Eco Estate.

Envisaged End Land Use - Presented by Mark van Wyk



Envisaged End Land Use - Presented by Mark van Wyk

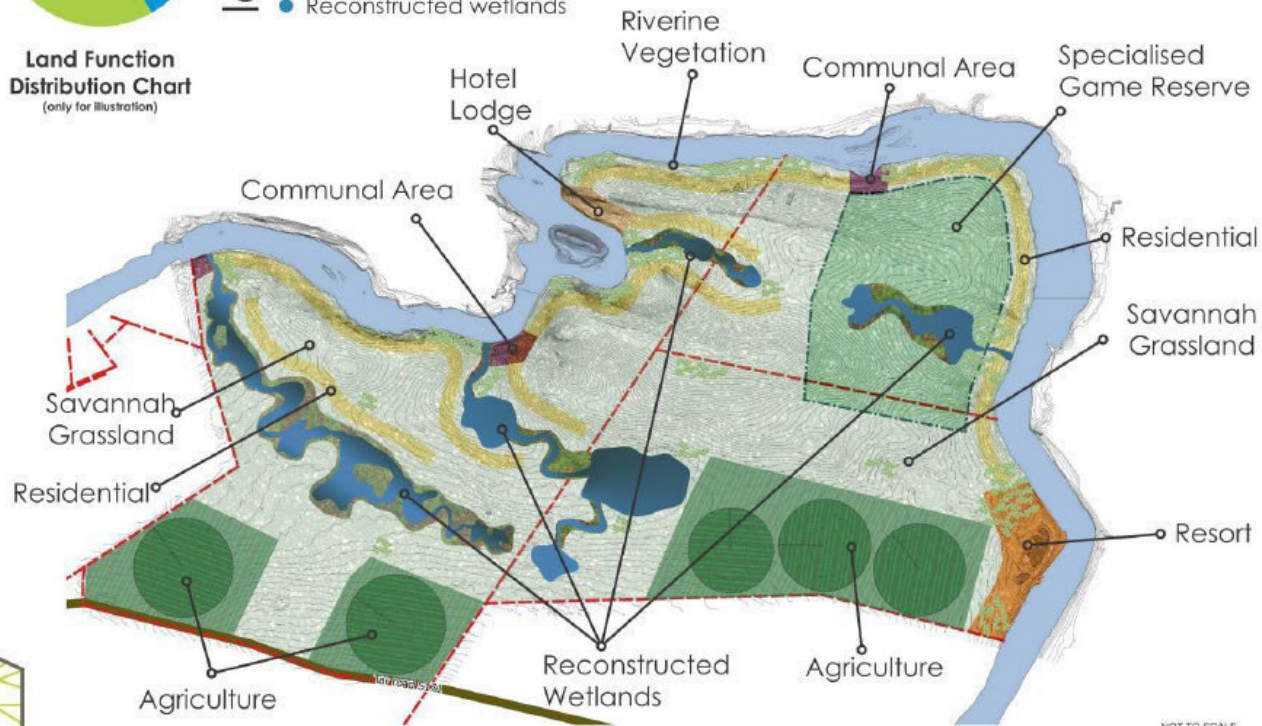


Land Function Distribution Chart
(only for illustration)

- Legend**
- Residential Area
 - Communal Area
 - Specialised Game Reserve
 - Natural Landscape
 - Agricultural Land
 - Resort/Lodge/Hotel
 - Reconstructed wetlands

Future vision for property: The three farm portions of the Farm Woodlands 407, which make up Goosebay Farm, were acquired by the VLDC Group in 2005. The company which currently owns Goosebay Farm is Goosebay Farm (Pty) Ltd. The VLDC Group bought Goosebay Farm with the intention of building a state-of-the-art Eco and River Lifestyle Estate.

Focus towards sustainable development of the property is of utmost importance. Protecting, restoring and promoting existing features on the property will benefit the ecological systems, aesthetic features and human experiences of the area.



NOT TO SCALE
FOR PRESENTATION PURPOSE ONLY

Envisaged End Land Use - *Presented by Mark van Wyk*



The income for Goosebay Farm is derived from the following:

- Resort Income – Rental of Log Cabins and Camping sites on the bank of the Vaal River
- Hunting and Culling of Game – Income is derived during the winter season;
- Other farming activities include: Livestock, Maize, Tef and Lucerne Farming. Maize Farming over approximately 2 million square meters are currently being conducted
- The three farm portions of the Farm Woodlands, which make up Goosebay Farm, were acquired by the VLDC Group in 2005. The company which currently owns Goosebay Farm is Goosebay Farm (Pty) Ltd.

Envisaged End Land Use - *Presented by Mark van Wyk*



I refer you to a brochure, compiled by Skets Landscape Architects entitled “Goosebay River and Eco Estate”

The VLDC Group bought Goosebay Farm with the intention of building a state of the art Exclusive Eco and River Lifestyle Estate. In this regard:

- The three Farm Portions which comprise Goosebay Farm, as set out above, consist of over 8 500 000m² on the Southern banks of the Vaal River,
- This development will offer 9 km of river frontage, game viewing, boating, birding, fly fishing, equestrian and a host of other rural activities, in close proximity to the now highly sought after “Vredefort Dome” area;
- It is anticipated that this development will consist of not less than 225 Erven of at least 6000m² each;
- It is anticipated that these erven will fetch upwards of R1 500 000.00 each, and that the lodges to be constructed on each stand will probably cost not less than R3 500 000.00 each to construct (i.e. minimum area of 350m² at R10 000.00 per m²). The total value per developed unit, will accordingly be approximately R5 000 0000.00.

Envisaged End Land Use - *Presented by Mark van Wyk*



- The VLDC Group after acquiring the property, launched an application in terms of the Environmental Legislation, to facilitate the Proposed Development of the property.
- The VLDC Group has taken the following steps with regards to the above development
- A team of Professional Consultants were appointed to evaluate, assess and advise on the development of the Estate;
- Numerous specialist studies relating to the Fauna, Flora and Farming Potential of the property, were commissioned. The advice set out in these studies, has been implemented on the farm;
- The farm was restocked with indigenous game, which originally inhabited the area, at enormous cost to the developer;
- Breeding Programs in respect of these herds of game have been implemented and the game is protected and monitored by the management and staff of Goosebay Farm;
- Residents of Vaaloewer Residential Township on the Northern Banks of the Vaal River, immediately to the North of Goosebay Farm across the Vaal River, can attest to the above, as they no doubt see the game from the comfort of their properties on a daily basis;

Envisaged End Land Use - *Presented by Mark van Wyk*



Since The VLDC Group's ultimate vision for the Farm (including the proposed initial development of the Mine), involves the development of a "state of the art" Exclusive Eco River and Lifestyle Estate as referred to above, the VLDC Group has, in addition to the Consultants referred above, retained the services of:

- A prominent firm of Estate Architects Skets Architects (Contact person: Mrs Thania van den Berg, to assist in formulating a design philosophy for the homes, which are to be built in the Estate;
- A highly experienced and innovative firm of Environmental Consultants Greenmined has been approached to assist in, inter alia, ensuring that the ultimate development of the Eco Estate (and the current proposed Mining), takes place in strict accordance with the applicable Legislation and best practices relating to Environmental Issues, Game Conservation, sustainable farming practices, and proper utilization of resources such as water;

Envisaged End Land Use - *Presented by Mark van Wyk*



A young and dynamic Vaal Triangle firm of Landscape Architects (Skets Architects and Planning, Contact person: Mr Mader van den Berg, Email Address: mader@skets.co.za), to ensure that the current planning for, and future development of, the Eco Estate and the proposed Mine, is carried out in accordance with current best practices and aesthetic considerations. All of the above to be implemented and monitored in order to protect and enhance the environment of the farm;

The VLDC Group as a socially responsible employer, has a policy of empowering and developing the employees who currently assist in running the farm (and the proposed mine);

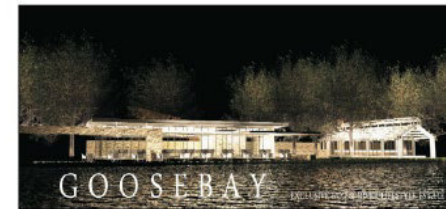
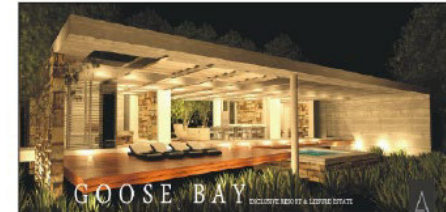
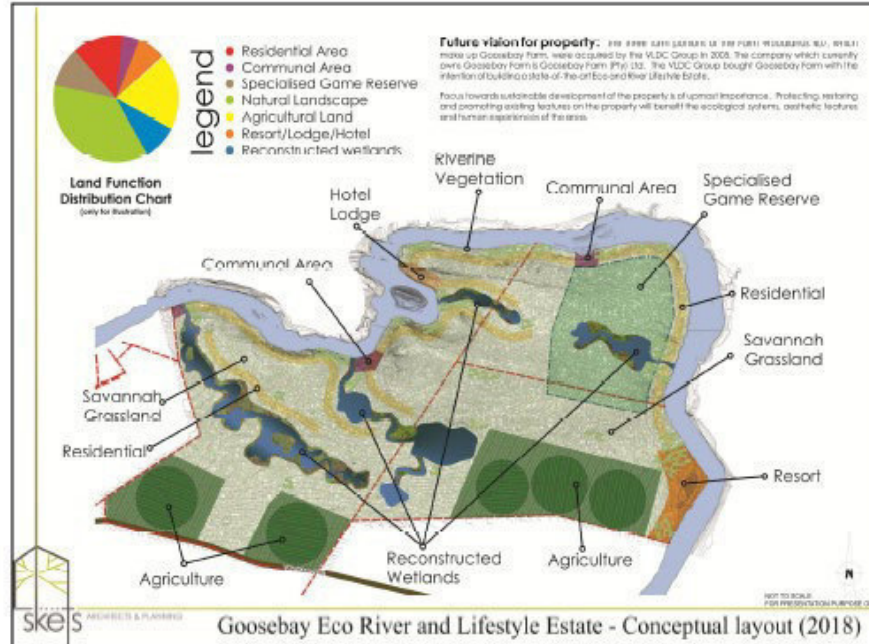
These policies involve proper nutrition, on the job training, specialized external training, self-sufficiency with regards to food security (including the growing of vegetables and animal husbandry), proper accommodation, recreation, Life Skills Training, internships and bursary schemes.

Envisaged End Land Use - *Presented by Mark van Wyk*



- In short, without laboring the point, the VLDC Group proposes that the ultimate use of the Farm, post the Mining Operations, will involve the complete rehabilitation and redevelopment of the Farm, into a state of the art and upmarket Exclusive Eco River and Lifestyle Estate:
- It is intended that, the vision, extent, quality, infrastructure and locality of the proposed Estate will surpass the abovementioned VLDC Estates, which the VLDC group has already developed on the Gauteng East Rand;
- I firmly believe that a market exists for such a development, given:
- The ongoing success of the Pont De Vaal Restaurant and Hotel, and other upmarket Residential Developments in the area;
- The close proximity of the site to the Vaal Triangle and the Johannesburg / Pretoria Metropolitan Areas

Envisaged End Land Use - Presented by Mark van Wyk

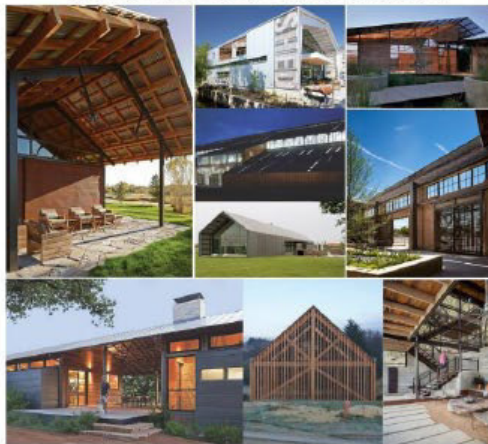


Envisaged End Land Use - Presented by Mark van Wyk

PHILOSOPHY TO POST-OPERATION USE OF MINING INFRASTRUCTURE

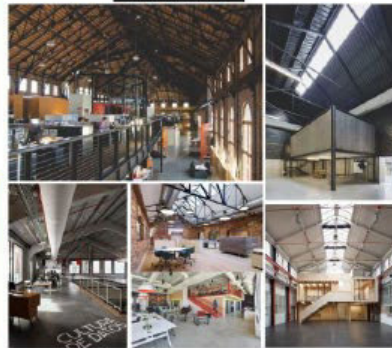
In an attempt to shift the paradigms that govern the perceptions of mining, one should investigate the concept of mining with a holistic approach towards its location. Mining should become the catalyst, a temporary and interim intervention, foreseeing a sustainable and site specific **end land use** after closure. This paradigm shift should dictate a new approach for an industry that is otherwise perceived as exploitative and exhaustive on the natural, social and biophysical environment. In line with the future development of Goosebay Canyon, mining infrastructure can be designed to support alternative functions after mining has ceased. The following examples explore the conversion of warehouse structures into functions that may support the future development. Exterior and interior designs are reflected in the images to stimulate a thought-process of post-operation land uses.

WAREHOUSE EXTERIOR



POST - OPERATION WAREHOUSE CONVERSIONS

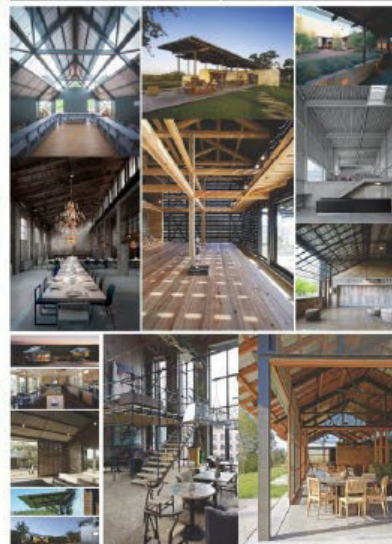
OFFICE



STABLES



CONFERENCE / FUNCTION



OUTDOOR ENTERTAINMENT



Comments Raised on DEIAR

– *Group presentation by specialist in each field*



- Environmental and Ecological Degradation along the Vaal river system in respect of both the environment and wildlife that exists (which will compound existing environmental trauma to the river system),
- Water pollution resulting from the proposed strip mine will totally destroy the 'sense of place' of the wetland,
- Property devaluation along the river way as a result of mining activities,
- Nuisance and diminishment of enjoyment of properties,
- The spiritual, aesthetic and therapeutic qualities associated with this area will also be eliminated,
- The well-being of the residents of Vaal Oewer is being threatened,
- Noise,
- Dust fallout pollution,
- Visual impacts,
- Scenic quality (sense of place),
- Increased traffic (trucks),
- Light,

The comments received on the DEIAR & EMPR will be incorporated into the final EIA & EMPR to be submitted for decision making to DMRE.

Commenting Period closes on **22 April 2021**.

Thereafter, the Final Environmental Impact Assessment Report (FEIAR) for the Mining Right Application will be submitted on on **26 April 2021** to the DMRE for its consideration as part of the authorization process in terms of the NEMA 2014 regulations (as amended by GNR 326 effective 7 April 2017). A copy of the final report will be made available on the Greenmined Environmental website. All registered I&AP's and stakeholders will be notified in writing within 14 days of the date of the decision of the outcome of the application, including the reasons for the decision and the right of appeal.



THANK YOU

GREENMINED ENVIRONMENTAL

Tel: 021 851 2673

Cell: 084 5855706

Fax: 086 546 0579

**Unit MO1, No 36 AECI site
Baker Square, Paardevlei
De Beers Avenue
Somerset West, 7130**

Questions

VAN WYK LAND DEVELOPMENT CORPORATION (PTY) LTD

Estates Previously built by VLDC & Goosebay Farm

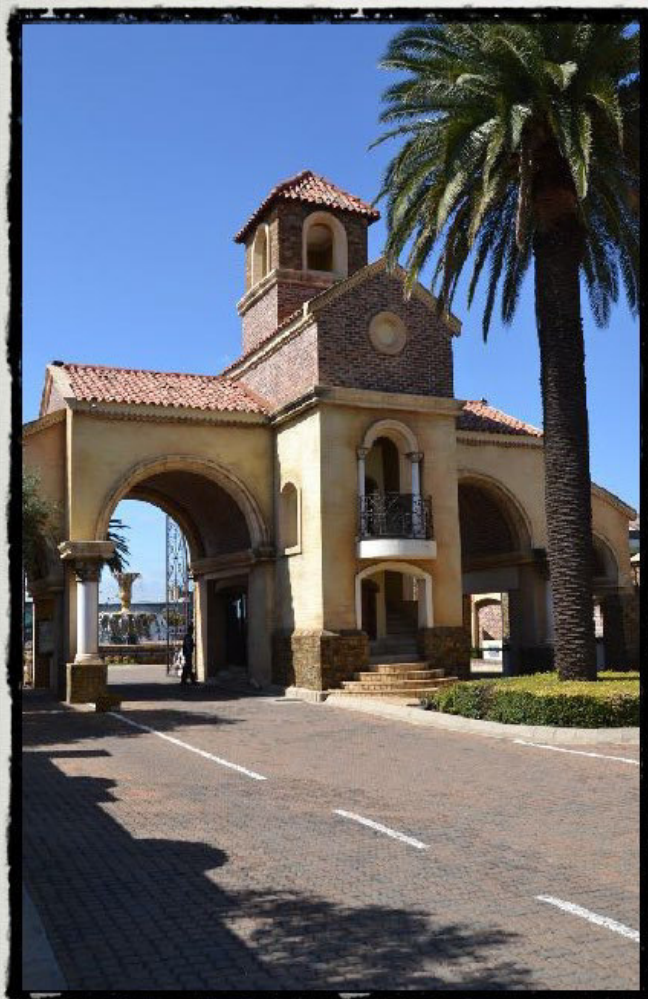
Photographs of VLDC Developments



VILLE D' FLEUR

Residential Estate Built By The VLDC Group
2005

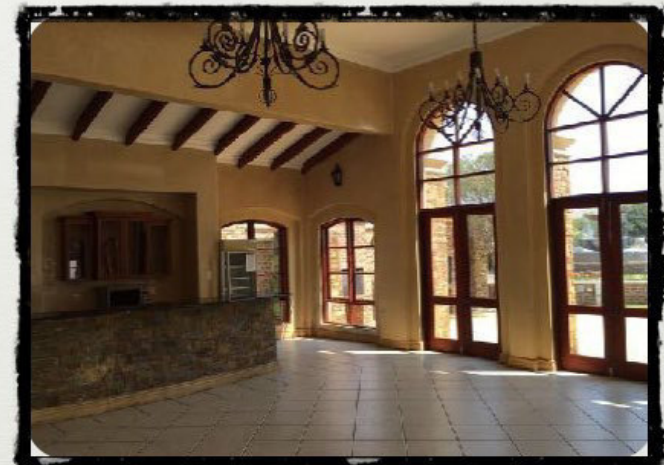
Photographs of VLDC Developments



Photographs of VLDC Developments



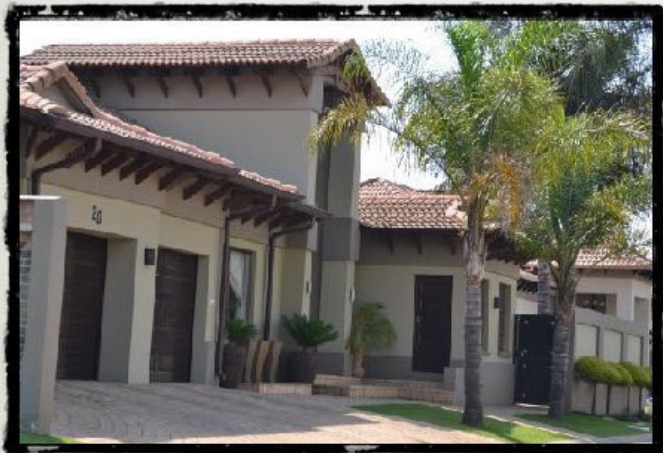
Photographs of VLDC Developments



Photographs of VLDC Developments



Photographs of VLDC Developments



Photographs of VLDC Developments



Photographs of VLDC Developments



MONTE CRISTO

Residential Estate Built By The VLDC Group
2003

Photographs of VLDC Developments



Photographs of VLDC Developments



Photographs of VLDC Developments



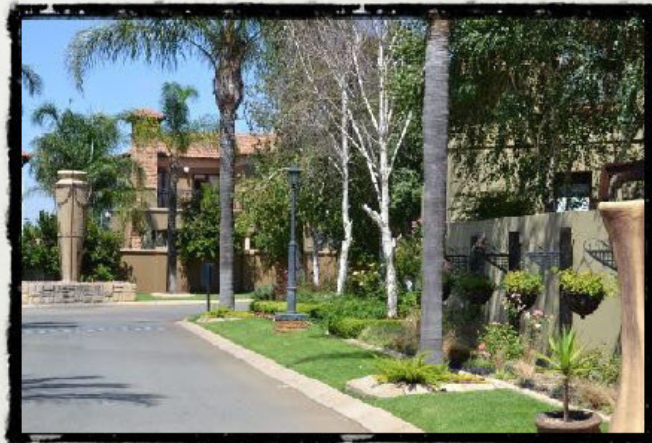
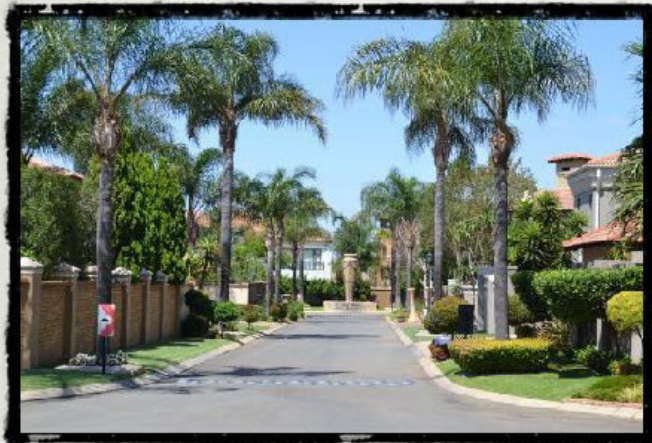
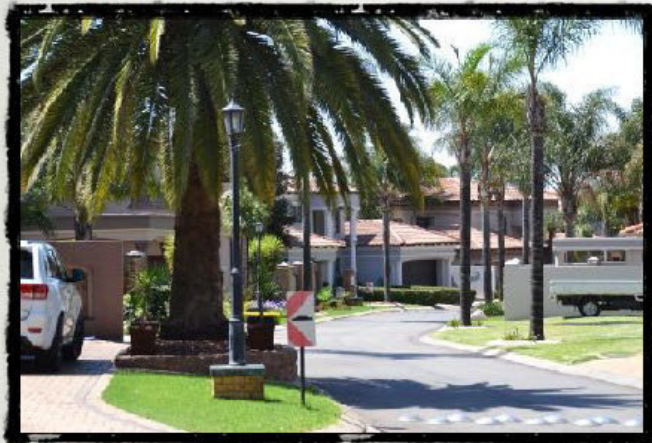
Photographs of VLDC Developments



ISOLA DI PALMA

Residential Estate Built By The VLDC Group
2001

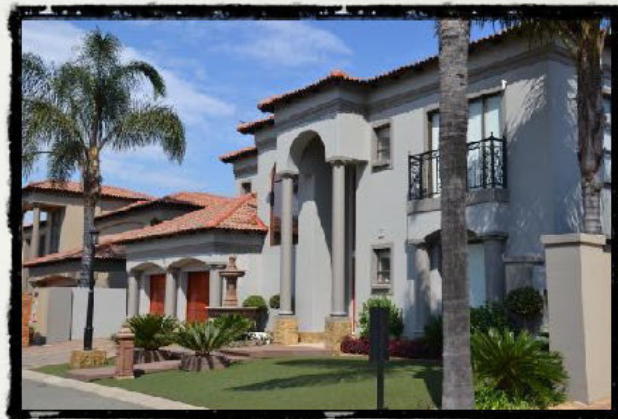
Photographs of VLDC Developments



Photographs of VLDC Developments



Photographs of VLDC Developments



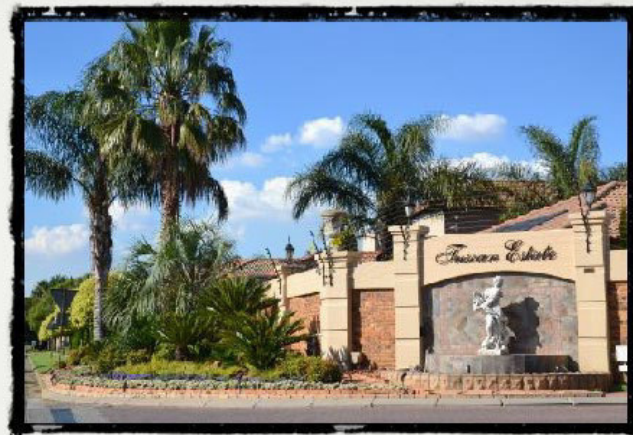
Photographs of VLDC Developments



TUSCAN ESTATE

Residential Estate Built By The VLDC Group
1998

Photographs of VLDC Developments



Photographs of VLDC Developments



Photographs of VLDC Developments



Photographs of VLDC Developments



LAKEFIELD MANOR

Proposed Residential Estate To Be Built By The
VLDC Group

Conceptual Design

Photographs of VLDC Developments



APPENDIX E18.5.1
PROOF OF PUBLIC PARTICIPTION MEETING
PRESENTATION SENT

Marlene Lingenfelder

From: Sonette Smit
Sent: 17 April 2021 10:49 AM
To: Abrie Hanekom Vaaloewer; Anne Wilson; Aragea Holland-Fredericks; Chakane; Chris Campbell ; Cindy Aboud; Craig Richardson; Di Stevens (Vaaloewer); Dina; Duan Jacobs; Frans Van der Merwe; Gavin Aboud; Hanlie Stander; Liz; Louis Kruger; Magda Rijksen; Marianne Bilsland; Mariette Liefferink; Martin Struwig; Mcebo Mkhathshwa; Nardus Buys; Paul Kgole; Philip Hartsliet; Pieter Hattingh; Protect Vaal Eden; Renee Hartsliet; Sampie van Rooyen; Sean Hunter and Heather Ubsdell; Stephan Fick / Johan and Susan Malan; Veronica Withers; Warrin ; Yusuf Dadabhay
Cc: Marlene Lingenfelder
Subject: Monte Cristo Commercial Park Draft Environmental Impact Assessment Report ("DEIAR") and Environmental Management Programme ("EMPR") Notification – Public Participation
Attachments: 210410 1st Pub Participate.pdf; Greenmined MCCP Presentation 17.04.21 MSC.pdf

Dear Interested and Affected Party,

Monte Cristo Commercial Park Draft Environmental Impact Assessment Report ("DEIAR") and Environmental Management Programme ("EMPR") Notification – Public Participation Meeting

1. The above matter as well as the Public Participation Meeting scheduled to take place Virtually and Physically on 17 April 2021 at 07h00 refer.
2. We must, at the outset, apologise profusely for the technological difficulties experienced by us at the aforementioned scheduled Meeting, which resulted in many I&APs electing to leave such Meeting.
3. In the event that any I&APs that intended to attend the aforementioned Meeting scheduled to be held on 17 April 2021 at 07h00, wish to attend the additional Meeting to be held today, 17 April 2021, at 13h00, we invite such I&APs to do so, Physically or Virtually.
 - 3.1. For the avoidance of any doubt, we confirm that the aforementioned technological difficulties, have been rectified, and the Meeting Scheduled to take place today, 17 April 2021, at 13h00, is expected to proceed without difficulty and/or delay.
 - 3.2. We shall, via SMS and Telephone Call, attempt to contact all such I&APs that intended to attend the aforementioned Meeting scheduled to be held on 17 April 2021 at 07h00, in order to notify and invite such I&APs to the Meeting scheduled to take place today, 17 April 2021 at 13h00, and to the further Meetings on 21 April 2021 and 24 April 2021.
4. Nevertheless, we invite all I&APs, that intended to attend the aforementioned Meeting scheduled to take place on 17 April 2021 at 07h00, Physically or Virtually, to also attend the further Meetings to be held by us, on 24 April 2021, as follows:
 - 4.1. **Barrage Informal Settlement** – On open Land in front of Barrage Primary School, located at Area 577 Kaalplaats Barrage 1900 Gauteng Province, (open space approximately 100m South west from Barrage Police Station) - GPS Co-ordinates 26.762991 - 27.678541 **at 9:00 – 10:00;**
 - 4.2. **Lindequesdrift/Vaal Oewer Informal Settlement** – On open Land immediately adjacent to Lindequesdrift (Vaal Oewer) informal settlement, North West Province, on main road (Open Space approximately 750m south from the Vaal Oewer entrance - GPS Co-ordinates -26,7309250, 27,5842210 **at 11:00 – 12:00.**

5. We wish to again re-iterate and stress that the well-being of the I&APs, is of utmost concern to us.

Additional Virtual Meeting To Be Held 21 April 2021 At 17h00

6. We have accordingly arranged a further Meeting, to be held Virtually on Wednesday 21 April 2021, at 17h00, which I&APs that intended on taking part in the Meeting scheduled to take place 17 April 2021 at 07h00 may attend, in the event that are unable to attend the Virtual and Physical Meetings scheduled to take place on 17 April 2021 at 13h00 and/or 24 April 2021.

6.1. A Zoom link, to the aforementioned meeting to be held on 21 April 2021 at 17h00, shall be sent to such I&APs that were present, at the Meeting scheduled to take place on 17 April 2021 at 07h00, which did not proceed.

6.2. We are, however, not in a position to arrange any further Meetings, in addition to the Meetings to be held on 21 April 2021 and on 24 April 2021.

6.3. We respectfully urge all relevant I&APs to attend one of the four abovementioned Meetings as again set out hereunder:

6.3.1.the Meeting to be held on 17 April 2021 at 13h00;

6.3.2.the Meeting to be held on 21 April 2021 at 17h00;

6.3.3.the Meeting to be held on 24 April 2021 at 09h00; and

6.3.4.the Meeting to be held on 24 April 2021 at 11h00.

7. In addition to the Meetings to be held, and in the interests of transparency, we attach hereto the Transcription of the Meeting held on 10 April 2021, together with the Presentation Material used in the Public Participation Meetings, in order for I&APs to have access to all relevant information, which I&APs may require, in order to provide Greenmined with comments in relation to the DEIAR.

7.1. We shall, in due course and upon receipt of same, distribute the Transcription of the Meeting scheduled to take place today, 17 April 2021 at 13h00.

7.2. We wish to point out that the Presentation Material herewith provided, has been produced from, and in accordance with, the DEIAR and Specialist Studies as attached thereto, and as such, does not constitute any new Material, which was not included in the DEIAR.

7.3. The Presentation Material, is provided to I&APs, in order to provide I&APs with a concise and succinct summary of the Material Facts of MCCP's Application.

8. We trust that you find the above in order and once again thank you for your valued engagement with Greenmined.

Kind Regards/Vriendelike Groete

Sonette Smit

Managing Director



Tel: 021 851 2673
Cell: 084 5855706
Fax: 086 546 0579
www.greenmined.com

Unit MO1, No 37 AECl site
Baker Square, Paardevlei
De Beers Avenue
Somerset West, 7130

APPENDIX E18.5.2
DELIVERY REPORTS & READ RECEIPTS

Sonette Smit

From: Sonette Smit
Sent: Saturday, April 17, 2021 10:46 AM
To: Abrie Hanekom Vaaloewer; Anne Wilson; Aragea Holland-Fredericks; Chakane; Chris Campbell ; Cindy Aboud; Craig Richardson; Di Stevens (Vaaloewer); Dina; Duan Jacobs; Frans Van der Merwe; Gavin Aboud; Hanlie Stander; Liz; Louis Kruger; Magda Rijksen; Marianne Bilslan; Mariette Liefferink; Martin Struwig; Mcebo Mkhathshwa; Nardus Buys; Paul Kgole; Philip Hartsliet; Pieter Hattingh; Protect Vaal Eden; Renee Hartsliet; Sampie van Rooyen; Sean Hunter and Heather Ubsdell; Stephan Fick / Johan and Susan Malan; Veronica Withers; Warrin ; Yusuf Dadabhay
Cc: Marlene Lingenfelder
Subject: Monte Cristo Commercial Park Draft Environmental Impact Assessment Report ("DEIAR") and Environmental Management Programme ("EMPR") Notification – Public Participation
Attachments: 210410 1st Pub Participate.pdf; Greenmined MCCP Presentation 17.04.21 MSC.pdf

Tracking:

Recipient	Read
Abrie Hanekom Vaaloewer	
Anne Wilson	
Aragea Holland-Fredericks	
Chakane	
Chris Campbell	
Cindy Aboud	
Craig Richardson	
Di Stevens (Vaaloewer)	
Dina	
Duan Jacobs	
Frans Van der Merwe	
Gavin Aboud	
Hanlie Stander	
Liz	
Louis Kruger	
Magda Rijksen	
Marianne Bilslan	
Mariette Liefferink	
Martin Struwig	
Mcebo Mkhathshwa	
Nardus Buys	
Paul Kgole	
Philip Hartsliet	
Pieter Hattingh	
Protect Vaal Eden	
Renee Hartsliet	
Sampie van Rooyen	
Sean Hunter and Heather Ubsdell	
Stephan Fick / Johan and Susan Malan	
Veronica Withers	

Recipient	Read
Warrin	
Yusuf Dadabhay	
Marlene Lingenfelder	Read: 4/17/2021 11:21 AM
'Brian Macgregor (Secretary)'	
Elsaine Costerus Mohr	Read: 4/19/2021 7:40 AM
Goosebay Canyon Farm	
Ilse Dicks	
mdvldc (mdvldc@vldc.co.za)	
Michael Cocks	
Peter Roux	
Robert Schimpers	
VLDC Secretary	
Zoe Norval	
Zoe Norval	Read: 4/17/2021 11:16 AM

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Kind Regards/Vriendelike Groete

Sonette Smit

Managing Director